

Request for Proposal

CENTRAL SCHOOL RESTORATION PROJECT PHASE 2B-1: ROUGH CARPENTRY

Prepared by the Mount Prospect Historical Society

October 1, 2013

Central School Restoration Project
Phase 2B-1: Rough Carpentry

Table of Contents

	<u>Page</u>
Notice to Contractors	2
Instructions to Contractors	3
General Conditions	5
Specifications/Scope of Work	7
Attachment A: Proposal Form	8
Attachment B: Contract	10
Appendices	19
▪ Appendix A – Project Detail	
▪ Appendix B – Reference	

NOTICE TO CONTRACTORS

The Mount Prospect Historical Society is seeking proposals for the renovation of certain areas of the Central School Building, a historic building located at 103 S. Maple Street, Mount Prospect, Illinois (the “Central School Restoration Project, Phase 2B-1: Rough Carpentry” or “Project”). Proposals for the Project must be received in sealed envelopes at the Mount Prospect Historical Society, 101 S. Maple Street, Mount Prospect, Illinois, 60056, no later than 2:00 p.m. on Friday, October 25, 2013. Envelopes shall be plainly marked, “Sealed Proposal for Central School Restoration Project, Phase 2B-1: Rough Carpentry”. Three (3) copies of the proposal must be included when submitted. Proposals must conform to the requirements of this Request for Proposal.

A contractor walk-through of the facility will be conducted by FGM Architects at 10:00 a.m. on Friday, October 11, 2013.

INSTRUCTIONS TO CONTRACTORS

- 1) All proposals for the Project shall be submitted to and received by the Mount Prospect Historical Society, 101 S. Maple Street, Mount Prospect, Illinois, 60056, in sealed envelopes no later than 2:00 p.m. on Friday, October 25, 2013. Envelopes shall be plainly marked, "Sealed Proposal for Central School Restoration Project, Phase 2B-1: Rough Carpentry". Three (3) copies of the proposal must be included when submitted.
- 2) No proposal may be withdrawn for at least thirty (30) days after the scheduled closing time for receipt of proposals.
- 3) Contractors shall include with their proposals the names of three (3) references as to their financial qualifications and three (3) references as to their qualifications by experience, ability, personnel and equipment to undertake work of the nature and extent contemplated by the proposal and specifications.
- 4) The Proposal Form, attached hereto as Attachment A, shall be completed and submitted as part of the proposal. If the Contractor wishes to qualify its proposal or make special stipulations thereto, such qualifications or stipulations shall be stated on standard 8 ½" x 11" sheets of paper, separate from the Proposal Form but included within the sealed proposal.
- 5) Contractors shall provide a list of subcontractors, if any, proposed to be used for the Work, including the type of work, and their addresses and telephone numbers.
- 6) The proposal must be signed by an authorized official of the organization submitting the proposal with the name of the official and his/her title typed below the signature. The person signing the proposal must initial all erasures or revisions to the proposal.
- 7) The Work to be performed under this contract includes the furnishing of all supervision, labor, materials, tools, equipment and incidentals of every kind and description necessary for construction of the Work, in accordance with the General Conditions and Specifications/Scope of Work included herein.
- 8) Prior to submission of a proposal, contractors are advised to visit the site of the proposed Work and to inform and familiarize themselves as to the location, condition, topography, and any obstacle, which may be encountered, or other relevant matters concerning the Work to be performed. No extra compensation will be allowed the successful Contractor for failure to inform or familiarize itself prior to submitting its proposal.
- 9) The Mount Prospect Historical Society reserves the right to reject any or all proposals, or any part thereof, to waive any informality or any information in any

proposal deemed not to be in the best interests of the Society, and to accept any proposal considered advantageous to the society.

- 10) The Society reserves the right to add to or subtract from the estimated Work in order to stay within its appropriated funding.
- 11) Contractor shall include with its proposal a construction schedule for completion of the Work, in accordance with the Contract.
- 12) Faxed or emailed Proposals will not be accepted.

Questions about this Request should be directed to:

Executive Director
Mount Prospect Historical Society
101 S. Maple Street
Mount Prospect, IL 60056
Phone: (847) 392-9006

OR

Frank Corry, Board President
(847) 590-3226
YourCentralSchool@gmail.com

GENERAL CONDITIONS

I. DEFINITION OF TERMS

In these specifications and the accompanying documents, the several terms hereinafter defined shall be understood to mean as follows:

The term, "Society," shall mean the Mount Prospect Historical Society in the Village of Mount Prospect, Illinois.

The term, "Board," shall mean the Board of Directors of the Mount Prospect Historical Society in the Village of Mount Prospect, Illinois.

The term, "Executive Director," shall mean the Executive Director of the Mount Prospect Historical Society in the Village of Mount Prospect, IL or his duly appointed representative.

The term, "Board President," shall mean the President of the Board of Directors of the Mount Prospect Historical Society in the Village of Mount Prospect, Illinois.

The term, "Inspector," shall mean the authorized representative of the Board President assigned to make detailed inspection of any or all portions of the work or materials therefor.

The term, "Owner," shall mean the Mount Prospect Historical Society

The term, "Project," or phrase, "Central School Restoration Project", shall mean the renovation of the Central School Building described herein.

The term, "Proposal," shall mean a formal written offer of a contractor to perform the proposed work in accordance with these specifications.

The term, "Contract," shall mean the written agreement between the Society and the Contractor.

The term, "Subcontractor," shall mean any individual, firm or corporation other than the Contractor supplying labor, equipment, tools and materials for use in the work of the Contract.

The term, "Notice to Contractors," shall mean the official notice included in the documents requesting a proposal for the proposed improvements.

The term, "Award," shall mean the decision of the Mount Prospect Historical Society to accept the proposal of the Contractor for the Work, subject to the execution and approval of a written Contract therefore, and bond, if required, to secure the performance thereof, and to such other conditions as may be specified or otherwise required by law.

The terms, "Performance Bond" or "Letter of Credit," shall mean the approved form of security furnished by the Contractor and its financial institution as a guarantee that it will execute the work in accordance with the terms of the Contract.

The term, "Work," shall mean the improvement advertised for letting, described in the Request for Proposal, as indicated on the plans, and covered in the General Conditions, Specifications/Scope of Work and Contract, and authorized alterations, extensions and deductions, including labor, tools, equipment, materials and incidentals necessary for the satisfactory completion of the Contract.

The term, "Contractor," shall mean the individual, firm or corporation who shall have entered into an agreement or Contract to furnish all necessary labor, equipment, tools and materials for the performance of the work herein contemplated.

II. CONTRACT

Award of the Work shall be subject to the execution of a written contract by the Board of Directors of the Historical Society. The contractor shall enter into a written contract with the Society in the form attached hereto and incorporated herein as Attachment B (the "Contract"). The Contract requires contractor to provide, among other things, specific insurance coverage and to indemnify the Society for its work. The contractor agrees to comply with the terms of the Contract as a material part of its proposal. To the extent that any provision of the Contract conflicts with a provision in this Request for Proposal, the Contract provision shall govern.

A not-for-profit organization, the Mount Prospect Historical Society invites and welcomes donations of labor, materials, equipments and services, including the costs for any subcontractors. For contractors wishing to donate all or a portion of their services on this project, a modified contract shall be available that specifies the handling of such transaction(s). The Society shall, in lieu of payment(s), provide such contractor with a letter evidencing its donation of said labor, materials, equipments and services to the Society as a not-for-profit organization for tax purposes.

III. SCHEDULE

Time is of the essence in completion of the Work. All Work is to be performed in a timely manner. Work shall commence within thirty (30) days of the award of the contract and execution of the Contract. All work shall be completed within sixty (60) days of the Effective Date of the Contract, as defined in the Contract.

IV. COORDINATION

The Contractor assumes full responsibility to supervise and coordinate all Work. In the event that the Society suffers costs in excess of the contract price due to contractor's failure to properly coordinate the work, the Society shall be entitled to a credit for those excess costs.

SPECIFICATIONS / SCOPE OF WORK

The Project scope of work for Phase 2B-1: Rough Carpentry consists of the work generally described below, and detailed in Appendix A:

PROJECT DESCRIPTION

General

- Partial demolition of selected existing interior carpentry, as noted

Carpentry

- Installation of new floor joists and reinforcement of existing floor structure
- Rough carpentry and framing for new interior wall partitions, as noted
- Installation of new design/build interior stair, as noted

Structural

- Refer to attached structural drawings for detailed information

PROJECT DETAIL (See Appendix A.)

- Project Manual For Mount Prospect Historical Society Central Schoolhouse Restoration, Phase 2B-1: Rough Carpentry
- Drawings:
 - G-0, G-1
 - A-1, A-2, A-3, A-4, A-5, A-6, A-7, A-8
 - S-1, 2-2, S-3

REFERENCE (See Appendix B.)

NOTE: The following documents are presented for reference only. Detailing work to be performed in future phases of the Project, they are offered here solely to establish the overall Project context for the work to be performed in the current Phase 2B-1.

- Drawings:
 - AR-1, AR-2, AR-3, AR-4, AR-5, AR-6, AR-7, AR-8, AR-9, AR-10, AR-11, AR-12, AR-13, AR-14, AR-15
 - M-1, M-2, M-3
 - P-1, P-2, P-3, P-4
 - E-0, E-1, E-2, E-3

PROPOSAL FORM

I, the undersigned, herewith submit a proposal for the Central School Restoration Project at the Mount Prospect Historical Society, 101 S. Maple Street, Mount Prospect, Illinois, 60056, in accordance with the Request for Proposal for the Central School Restoration Project. I have examined the site of the Work and the Request for Proposal and its attachments.

In submitting this proposal, I agree:

1. To not withdraw my proposal for a period of 30 days after receipt of the proposal.
2. To enter into and execute a written contract, if awarded, on the basis of this proposal, and to furnish contract bonds, if required, within ten (10) days of a written Notice of Award.
3. To construct the Work in accordance with the General Conditions and Specifications/Scope of Work.
4. To complete the Work within the time required. I acknowledge that failure to submit a construction schedule may nullify my proposal.

I will construct the Work for the stipulated sum of \$_____.

SUBCONTRACTORS, IF ANY, TO PERFORM WORK:

Type work	Name	Address	Telephone

Attach additional sheet(s) as necessary.

SCHEDULE

I have included my schedule for the Work showing starting and completion dates for each element of Work, including permit, entry closing, etc.

I understand that the Mount Prospect Historical Society reserves the right to waive irregularities, technicalities and formalities and to reject any or all proposals.

Name of Company/Firm

Address of Company/Firm

By: _____

Print Name: _____

Title: _____

Phone: _____

Date submitted: _____, 2013.

Submit 3 copies of sealed proposal to:

Mount Prospect Historical Society, 101 S. Maple Street, Mount Prospect, Illinois, 60056.

Envelopes shall be plainly marked, "Sealed Proposal for Central School Restoration Project, Phase 2B-1: Rough Carpentry".

ATTACHMENT B

**CONTRACT FOR THE CENTRAL SCHOOL RESTORATION PROJECT
PHASE 2B-1: ROUGH CARPENTRY**

This Contract (the “**Contract**”) is made and entered into on the Effective Date, as hereinafter defined, by and between _____, located at _____, _____, an _____, (the “**Contractor**”), and the Mount Prospect Historical Society, an Illinois not-for-profit corporation (the “**Society**”) (hereinafter collectively the “**Parties**”).

WHEREAS, the Society leases certain real property at 101-103 South Maple Street, Mount Prospect, Illinois, which is owned by the Village of Mount Prospect, an Illinois municipal corporation, 50 S. Emerson Street, Mount Prospect, Illinois 60056 (hereinafter, the “**Village**”); and

WHEREAS, the Central School Building is a historical building located at 103 South Maple Street, Mount Prospect, Illinois (the “**School Building**”), which the Society leases from the Village for use as a historical museum; and

WHEREAS, the Society wishes to restore the School Building (the “**Central School Restoration Project**” or “**Project**”); and

WHEREAS, the Contractor has agreed to provide certain services for the project.

NOW THEREFORE, in consideration of the above Recitals, which are made a part hereof, and other good and valuable consideration, the Society and the Contractor hereby agree to the following terms:

1. **Scope of Service**. The Contractor shall, at its sole cost, furnish and provide labor, materials, equipments and services necessary to perform the work specified in **Exhibit A**, attached hereto and incorporated herein by reference (hereinafter the “**Work**”).
2. **Performance of the Work; Subcontractors**.
 - A. The Work shall be performed in a workmanlike manner and in accordance with all applicable laws, rules, ordinances, and/or regulations relative to the performance of the Work, including the Village’s Maintenance and Building Codes (hereinafter collectively the “**Regulations**”).
 - B. Contractor shall continually provide the Society with an updated list of all subcontractors performing the Work, including the type of work performed, name, address and telephone number.
3. **Time of Performance**. Time is of the essence in Contractor’s performance of the Work. The Contractor shall begin the Work within thirty (30) days of the

Effective Date of this Contract and complete the Work within sixty (60) days of the Effective Date. The Contractor is excused from compliance with this performance time period to the extent that the delay is authorized in writing by the Society, or delay or nonperformance are caused by an act of God, strikes, unavailability of materials, or any other contingency beyond the Contractor's control, in which cases the time of completion shall be extended for such reasonable time as the Society may deem reasonable.

4. **Payment for Services.** The Society shall pay to the Contractor for its performance of the Work the Contract Sum of _____ (\$ _____ .00). Upon completion of the Work, Contractor shall provide the Society with an invoice evidencing its cost for labor, materials, equipments and services under this Contract, including the costs of any of its subcontractors, and a properly completed Contractor's Affidavit setting out, under oath, the name, address and amount due or to become due, of Contractor, each subcontractor, vendor, supplier or other appropriate party included in its cost. For every party listed, the Contractor shall also provide a full waiver of lien. The Contractor's Affidavit shall be accompanied by final waivers of lien from any and all contractors, subcontractors and suppliers in connection with the Work. Within thirty (30) days after receipt of said invoice, Contractor's Affidavit and the required lien waivers, and acceptance of the work by the Society based upon its determination that the Work is satisfactory (hereafter "Final Acceptance"), the Society shall make final payment due to the Contractor.
5. **Supervision at Work Site.** The Contractor is responsible for all Work performed at the Work site, including supervision of the Work, and shall at all times have a competent person in charge of its work crew at the Work site to whom the Society's designated representative may issue directives. Such person shall be authorized to accept and act upon such directives.
6. **Payment of Taxes.** The Contractor shall pay all federal, state and local taxes as may be applicable on all materials, labor and services furnished by it under the Contract.
7. **Prevailing Wage:** It is hereby stipulated that this Contract calls for prevailing wages, within the meaning of the Illinois Prevailing Wage Act, 820 ILCS 130/1, et seq., as amended (the "Act"). The Contractor and all subcontractors are required to pay wage rates in accordance with the Act to all laborers, workers and mechanics. The Society has adopted the prevailing wages as determined by the Illinois Department of Labor ("IDOL") for Cook County. The prevailing rate of wages is revised by the IDOL and is available on the IDOL website, www.state.il.us/agency/idol/rates/rates.HTM. The Contractor and all subcontractors are solely responsible for checking the Department's website for revisions to prevailing wage rates. In the event that the IDOL should revise the prevailing rate of wages, then the revised rates shall apply to this Contract. In no

case shall any revision in the rates of prevailing wages result in an increase in the total Contract price.

Contractor shall comply with all applicable provisions of the Prevailing Wage Act, including, but not limited to, the requirements of Section 5 of the Prevailing Wage Act, 820 ILCS 130/5. The Contractor, and all Subcontractors and Sub-Subcontractors participating on the Project, shall make and keep those records required under Section 5 of the Prevailing Wage Act. In conformance with the Act, each contractor and subcontractor, or other entity performing work on the Project, shall maintain records of all laborers, mechanics and other workers employed by them on the Project, including the following information on each worker: (1) name; (2) address; (3) telephone number when available; (4) social security number; (5) classification or classifications; (6) hourly wages paid in each pay period; (7) number of hours worked each day; and (8) starting and ending times of each day. These records shall be kept by the participating contractor and subcontractor for a period of not less than three (3) years from the date of last payment on the Contract of subcontract. Each participating contractor and subcontractor shall submit a monthly certified payroll to the Society consisting of the above-referenced information as well as a statement signed by the participating contractor or subcontractor that certifies: (a) the records are true and accurate; (b) the hourly rate paid to each worker is not less than the general prevailing rate of hourly wages required under the Prevailing Wage Act; and (c) the contractor or subcontractor is aware that filing a certified payroll that he or she knows to be false is a Class A misdemeanor.

8. **Assignment.** The Contractor shall not assign this Contract without prior written approval of the Society. In the event that the Society so approves an assignment, the Contractor shall remain responsible for the acts and omissions of its assigns.
9. **Indemnification.** The Contractor shall indemnify, release and hold harmless the Society, the Village, their officers, officials, agents, employees, volunteers, representatives, assigns, successors, transferees, licensees, invitees, and attorneys, from any and all risks, lawsuits, actions, damages, losses, expenses (including attorneys' fees), claims, or liabilities of any character, brought because of any death, injuries or damages received or sustained by any person, persons, or property on account of any act, omission, neglect or misconduct of Contractor, its officers, agents and/or employees, including any of its subcontractors, arising out of or in performance of any provision of this Contract, including any claims or amounts arising or recovered under the Workers' Compensation Act or any other law, ordinance, order or decree.
10. **Property Damage.** The Contractor assumes responsibility for all damage to property, real and personal, caused by any equipment used by Contractor or its subcontractors. The Contractor shall be responsible to repair such damage.

11. **Insurance.** During the entire period of Work and for a period thereafter of twelve (12) months from the date of Final Acceptance of all Work by the Society, the Contractor shall provide and continuously maintain the following types of insurance, written on the comprehensive form and as an “occurrence” policy, in not less than the following specific amounts:

- a. Comprehensive General Liability - \$1,000,000 limit for bodily injury, personal injury or death to each person; \$1,000,000 limit for property damage per occurrence; and \$1,000,000 for all other types of liability. The aggregate shall be a minimum of \$2,000,000. A copy of the policy may be required.
- b. Automobile Liability: \$1,000,000 limit per accident for each person and \$1,000,000 for each occurrence. Said insurance is to be extended to cover owned, non-owned and hired vehicles.
- c. Workers Compensation: limits required by Illinois’ State statute, by an insurance company licensed to write workers compensation coverage in the State of Illinois.
- d. Employer Liability: limits of not less than \$1,000,000.
- e. Umbrella or Excess Liability: \$2,500,000 per occurrence and in the aggregate.
- f. Insurance Rating: All insurance policies required by this contract shall be underwritten by insurance companies with a minimum A.M. Best rating of A: VII.

Contractor shall furnish to the Village and Society, prior to commencing any activities under this Contract, satisfactory proof of the above insurance requirements by a reliable insurance company or companies authorized to do business in Illinois. Such proof shall consist of certificates executed by the respective insurance companies and filed with the Village and Society. Said certificates shall list the Society, the Village, their officers, officials, agents, employees, volunteers, representatives, assigns, successors, transferees, licensees, invitees, and attorneys, as additional insureds and loss payees on all required insurance policies. Such insurance is primary and in no event will be considered contributory to any insurance purchased by the Society or Village. Such insurance shall apply to any and all claims whatsoever, which arise out of or result from the Contractor’s performance under the Contract, whether such acts or omissions be by the Contractor or by a subcontractor or anyone directly or indirectly employed by any of them. Such insurance will not be canceled, reduced, or materially changed without providing the Society thirty (30) days advance written notice, via certified mail.

12. **Permits and Licenses.** All permits and licenses necessary for the completion and execution of the Work shall be secured by Contractor at Contractor's expense, unless the cost is waived by the Village, and displayed by the Contractor.
13. **Access to Subject Property.** The Contractor shall at all times permit the Society, the Village, their employees and agents access to the work site to inspect the Work for compliance with the terms of this Contract, including Attachment A and the Regulations.
14. **Warranty.** The Contractor shall guarantee and warrant the Work against defects in workmanship and materials for a period of twelve (12) months from the date of Final Acceptance of all Work by the Society.
15. **Notice.** Proper notice shall be given by personal service or certified or registered mail:

To CONTRACTOR: _____

To SOCIETY: Executive Director
 Mount Prospect Historical Society
 101 S. Maple Street
 Mount Prospect, Illinois 60056

Notice shall be effective upon the date of receipt by personal service or as evidenced by a valid return receipt. The name and/or address to which notice is required may be amended at any time by written notice to the other party as provided herein.

16. **Nondiscrimination; Adherence To Laws.**
 - a. The Contractor shall complete the Contractor's Certification, attached hereto and incorporated herein as **Exhibit B**, and submit said Certification along with the executed Contract.
 - b. The Contractor and any subcontractor shall be subject to and conform with all applicable federal, state, county and municipal laws and ordinances, including the following:
 - (1) Provide a drug free Workplace pursuant to the Illinois Drug Free Workplace Act (30 ILCS 580/1, et seq.);
 - (2) Comply with Article 2 of the Illinois Human Rights Act (775 ILCS 5/2-101, et seq.), and the Rules and Regulations of the Illinois

Department of Human Rights, including establishment and maintenance of a sexual harassment policy as required by Section 2-105 of that Article and Act; and

- (3) Comply with the Americans with Disabilities Act.

Contractor shall include this subsection 16(b) in any contract with a subcontractor.

17. **Choice Of Law And Forum** This Contract shall be construed pursuant to the laws of the State of Illinois. Any litigation regarding this Contract or its content shall be filed in the Circuit Court in Cook County, Illinois.
18. **Enforceability** If any provision of this Contract is found to be invalid, illegal or unenforceable, that provision shall be severable from the rest of this Contract and the validity, legality and enforceability of the remaining provisions will in no way be affected or impaired.
19. **Remedies** In addition to any other provision in this Contract, the Parties shall have all remedies, at law or in equity, in order to enforce the terms of this Contract.
20. **No Waiver or Relinquishment of Right to Enforce Contract** Failure of any Party to this Contract to insist upon the strict and prompt performance of the terms, covenants, agreements and conditions herein contained, or any of them, upon any other party imposed, shall not constitute or be construed as a waiver or relinquishment of any party's right thereafter to enforce any such term, covenant, agreement or condition, but the same shall continue in full force and effect.
21. **Captions and Paragraph Headings** The captions and paragraph headings used herein are for convenience only and are not a part of this Contract and shall not be used in construing it.
22. **Entire Contract** This Contract sets forth all of the entire understanding of the Parties relative to the subject hereof and supersedes any and all prior agreements, express or implied, oral or written. No amendment or modification of this Contract shall be effective unless reduced to writing and executed by the Parties.
23. **Counterparts**. This Contract may be executed in two (2) or more counterparts, each of which, taken together, shall constitute one and the same instrument.
24. **Effective Date**. This Contract shall become effective upon the date last signed by the Society.

IN WITNESS THEREOF, the parties hereto execute this Contract.

CONTRACTOR

By: _____

Title: _____ Date: _____

By: _____

Title: _____

MOUNT PROSPECT HISTORICAL SOCIETY

By: _____ Date: _____

Executive Director

ATTEST:

By: _____

EXHIBIT A

SPECIFICATIONS / SCOPE OF WORK

The Project scope of work for Phase 2B-1: Rough Carpentry consists of the work generally described below, and detailed in the sub-listed documents:

DESCRIPTION

General

- Partial demolition of selected existing interior carpentry, as noted

Carpentry

- Installation of new floor joists and reinforcement of existing floor structure
- Rough carpentry and framing for new interior wall partitions, as noted
- Installation of new design/build interior stair, as noted

Structural

- Refer to attached structural drawings for detailed information

DETAIL

- Drawings:
 - G-0, G-1
 - A-1, A-2, A-3, A-4, A-5, A-6, A-7, A-8
 - S-1, 2-2, S-3
- Project Manual For Mount Prospect Historical Society Central Schoolhouse Restoration, Phase 2B-1: Rough Carpentry

FOR REFERENCE ONLY

NOTE: The following documents are presented for reference only. Detailing work to be performed in future phases of the Project, they are offered here solely to establish the overall Project context for the work to be performed in Phase 2B-1.

- Drawings:
 - AR-1, AR-2, AR-3, AR-4, AR-5, AR-6, AR-7, AR-8, AR-9, AR-10, AR-11, AR-12, AR-13, AR-14, AR-15
 - M-1, M-2, M-3
 - P-1, P-2, P-3, P-4
 - E-0, E-1, E-2, E-3

NOTE: THE ABOVE-REFERENCED DOCUMENTS, PRESENTED IN APPENDICES A & B OF THIS RFP, WILL BE INCORPORATED IN THEIR ENTIRETY INTO THE CONTRACT.

EXHIBIT B

**MOUNT PROSPECT HISTORICAL SOCIETY
CONTRACTOR’S CERTIFICATION**

_____, having been first duly sworn, deposes and states as follows:
(Officer or Owner of Company)

_____, having submitted a proposal for:
(Name of Company) (the “Contractor”)

THE CENTRAL SCHOOL RESTORATION (PROJECT)
PHASE 2B-1: ROUGH CARPENTRY

to the Mount Prospect Historical Society, Mount Prospect, Illinois, hereby certifies that the undersigned Contractor:

1. has a written sexual harassment policy in place in full compliance with 775 ILCS 5/2-105(A)(4).
2. provides a drug free workplace pursuant to the Drug Free Workplace Act, 30 ILCS 580/1, et seq., and has, to the extent not covered by a collective bargaining that deals with the subject of the Substance Abuse Prevention in Public Works Projects Act, 820 ILCS 265/1 et seq., a substance abuse prevention program that meets or exceeds these requirement of that Act.

Contractor: _____

By: _____
Officer or Owner of Company named above

Subscribed and sworn to before
me this _____ day of
_____, 2013.

Notary Public

APPENDICES

APPENDIX A – PROJECT DETAIL – PHASE 2B-1: ROUGH CARPENTRY

APPENDIX B – REFERENCE

APPENDIX A

PROJECT DETAIL

PHASE 2B-1: ROUGH CARPENTRY

PROJECT MANUAL

FOR

**Mount Prospect Historical Society
Central Schoolhouse Restoration
Phase 2B-1: Rough Carpentry**

AT

103 S. Maple Street
Mount Prospect, IL 60056

OWNER:

Mount Prospect Historical Society

DOCUMENTS DATED: July 1, 2013

ISSUED FOR Bid

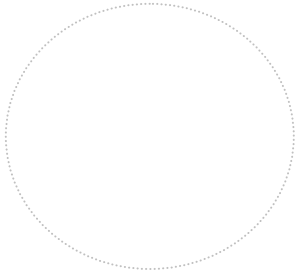
**FGM ARCHITECTS INC.
1211 WEST 22ND STREET, SUITE 705
OAK BROOK, ILLINOIS 60523**

FGM JOB NO. 13-1641.01

**©2013 FGM ARCHITECTS INC.
Professional Design Firm #184-000350**

CERTIFICATIONS:

I hereby certify that these plans and specifications were prepared under my supervision and to the best of my knowledge comply with the 2012 International Building Code (IBC), 2012 International Energy Conservation Code (IECC), 2012 International Fire Code (IFC) except Chapter 4, Illinois Accessibility Code, as well as the applicable requirements of 23 Ill. Adm. Code 180.

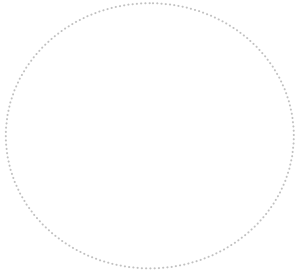


Architect's Seal

(Architect's Signature)

Date Signed: _____ Expiration Date: _____

I hereby certify that these plans and specifications were prepared under my supervision and to the best of my knowledge comply with the 2012 International Building Code (IBC), as well as the applicable requirements of 23 Ill. Adm. Code 180.



Structural Engineer's Seal

(Engineer's Signature)

Date Signed: _____ Expiration Date: _____

DOCUMENT 000030 – TABLE OF CONTENTS

INTRODUCTORY INFORMATION

Document	000010	Cover Page.....	1
	000030	Table of Contents.....	1 – 2
	000040	Drawing Index	1 – 2

BIDDING REQUIREMENTS, CONTRACT FORMS, AND CONDITIONS OF THE CONTRACT

Contract and bidding documents provided under separate cover by Owner (Mount Prospect Historical Society)

DIVISION 1 - GENERAL REQUIREMENTS

Section	011000	Summary of Work	1 – 3
	014000	Quality Control	1 – 3
	016000	Material and Equipment.....	1 – 2
	017700	Contract Closeout	1 – 4
	017310	Cutting and Patching.....	1 – 2
	017320	Selective Demolition.....	1 – 3

DIVISION 2 – SITE WORK

Not Used

DIVISION 3 - CONCRETE

Not Used

DIVISION 4 - MASONRY

Not Used

DIVISION 5 – METALS

Not Used

DIVISION 6 – CARPENTRY

Section	061000	Rough Carpentry.....	1 – 4
---------	--------	----------------------	-------

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

Not Used

DIVISION 8 - DOORS AND WINDOWS

Not Used

DIVISION 9 - FINISHES

Not Used

DIVISION 10 - SPECIALTIES

Not Used

DIVISION 11 - EQUIPMENT

Not used

DIVISION 12 - FURNISHINGS

Not Used

DIVISION 13 - SPECIAL CONSTRUCTION

Not Used

MOUNT PROSPECT HISTORICAL SOCIETY
CENTRAL SCHOOLHOUSE RESTORATION
PHASE 2B-1: ROUGH CARPENTRY

Issued for Bid – 07/01/13

DIVISION 14 - CONVEYING SYSTEMS

Not Used

DIVISION 15 - MECHANICAL

Not Used

DIVISION 16 - ELECTRICAL

Not Used

END OF DOCUMENT

DOCUMENT 00004 DRAWING INDEX

DRAWINGS ISSUED FOR BID:

GENERAL

G - 0	COVERSHEET
G - 1	GENERAL NOTES AND ABBREVIATIONS

ARCHITECTURAL DRAWINGS

A - 1	PROJECT KEYNOTES
A - 2	EXISTING BASEMENT FLOOR DEMOLITION PLAN AND EXISTING CONDITIONS
A - 3	EXISTING FIRST FLOOR DEMOLITION PLAN
A - 4	PROPOSED BASEMENT FLOOR PLAN
A - 5	PROPOSED FIRST FLOOR PLAN
A - 6	PARTITION TYPES
A - 7	PARTITION TYPES
A - 8	DETAILS

STRUCTURAL DRAWINGS

S - 1	FIRST FLOOR REINFORCING PLAN
S - 2	REINFORCING DETAILS
S - 3	GENERAL STRUCTURAL NOTES

REFERENCE DRAWINGS (FOR FUTURE SCOPE OF WORK):

ARCHITECTURAL DRAWINGS (ISSUED FOR REFERENCE ONLY)

AR - 1	PROJECT KEYNOTES
AR - 2	BASEMENT FLOOR DEMOLITION PLAN
AR - 3	FIRST FLOOR DEMOLITION PLAN
AR - 4	BASEMENT FLOOR PLAN
AR - 5	FIRST FLOOR PLAN
AR - 6	BASEMENT FLOOR REFLECTED CEILING PLAN
AR - 7	FIRST FLOOR REFLECTED CEILING PLAN
AR - 8	EXTERIOR ELEVATIONS
AR - 9	EXTERIOR ELEVATIONS
AR - 10	EXTERIOR ELEVATIONS
AR - 11	INTERIOR ELEVATIONS
AR - 12	PARTITION TYPES
AR - 13	PARTITION TYPES
AR - 14	DETAILS
AR - 15	REFERENCE PHOTOS

MECHANICAL DRAWINGS (ISSUED FOR REFERENCE ONLY)

M - 1	MECHANICAL BASEMENT PLAN
M - 2	MECHANICAL FIRST FLOOR PLAN
M - 3	MECHANICAL SCHEDULES AND NOTES

PLUMBING DRAWINGS (ISSUED FOR REFERENCE ONLY)

P - 1 BASEMENT PLAN
P - 2 FIRST FLOOR PLAN
P - 3 PLUMBING SCHEDULES
P - 4 PLUMBING DIAGRAMS

ELECTRICAL DRAWINGS (ISSUED FOR REFERENCE ONLY)

E - 0 ELECTRICAL SYMBOL LIST, GENERAL NOTES AND SPECIFICATIONS
E - 1 BASEMENT ELECTRICAL PLAN
E - 2 FIRST FLOOR ELECTRICAL PLAN
E - 3 ELECTRICAL SCHEDULES

END OF SECTION

SECTION 011000 - SUMMARY OF WORK

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Work Included.
 - 1. Work by Owner.
 - 2. Contractor use of site and premises.
 - 3. Work Sequence.

1.2 WORK INCLUDED

- A. The contractor shall provide all labor and materials, perform and complete all work for the construction of the project as indicated in the Contract Documents and include all work specified in the addenda of said Contract Documents.
- B. Provide all of the labor, materials, necessary equipment and transportation and services necessary to perform and complete in a workmanlike manner all work required to complete the proposed work indicated in the bidding documents for the Mount Prospect Historical Society Central Schoolhouse Renovation; all in accordance with the Plans and Specifications prepared by the office of FGM Architects.

1.3 WORK BY OWNER

- A. Items noted NIC (Not in Contract), and by Owner will be supplied, installed and coordinated by Owner.
- B. Owner reserves the right to remove and save salvageable materials and equipment prior to, or during demolition.
- C. Owner may have other contractors on premises performing other work.

1.4 CONTRACTOR USE OF SITE AND PREMISES

- A. Limit use of site and premises to allow:
 - 1. Owner occupancy.
 - 2. Work by Others and Work by Owner.
- B. Construction Operations: Limited to areas shown or indicated on Drawings. In general, confine operations to the Owner's site.

1.5 WORK SEQUENCE

- C. Construct Work to accommodate Owner's occupancy requirements during the construction period, coordinate construction schedule and operations with the Owner. All contractors are to review construction schedule with the Owner prior to bidding.
- C. Work is to commence within 15 days of notice of award.

PART 2 PRODUCTS Not Used.

PART 3 EXECUTION

3.1 PERMIT AND FEES

- A. The contractor or contractors shall secure and pay for all permits and fees, other than a building permit, required for performance and execution of this work including, but not limited to permits and fees for:
 - B. Contractor's licensing fees
 - C. Penalties
 - D. Miscellaneous fees and permits

3.2 COORDINATION

- A. Each contractor shall coordinate his work and all other related work with the Owner and with any trades to facilitate the general progress of the work. Each trade shall have every reasonable opportunity for the installation of their work and for the storage of materials.
- B. Each trade shall lay out their work so as not to interfere with location of work of other trades.

3.3 CONTRACTOR

- A. Each trade shall be responsible for proper execution of this work.
- B. Each contractor is to provide temporary shoring, anchoring and bracing required by the nature of the work in order to make all parts absolutely rigid and stable as required. The Contractor shall be responsible for any damage resulting from failure to provide if either through lack of proper judgment or from any other cause.
- C. Verify all measurements at site before ordering material or doing work. No extra charge or compensation is allowed on account of differences between actual dimensions and measurements indicated on drawings. Submit any differences to Owner/Architect for clarification before proceeding.

3.4 PROTECTION

- A. Protect so as to maintain all work, materials, apparatus and fixtures free from injury or damage. At the end of a day's work, all new work likely to be damaged shall be covered.

3.5 SAFETY

- A. Each contractor shall be responsible for providing and maintaining all required safety procedures in accordance with the requirements of OSHA, local municipality, state and federal government, and Owners insurance company.
- B. Provide all shoring, and bracing as required for safety and prosecution of the work, and have same removed when work is completed.

3.6 PEDESTRIAN TRAFFIC

- A. The Contractor is responsible for the safe passage of pedestrian traffic for the duration of the job. Any precautionary measures, necessary warning signs, temporary partitions, etc., required to assist the Contractor in the performance of the work shall be provided for and included in this contract.

3.7 SUPERINTENDENT LOG

- A. Provide a daily log by Contractor's superintendent in a ledger type book with bound pages for the Architect's and Owner's review. Enter date, time, weather, and other items required by the Architect. Each contractor's superintendent shall provide the Construction Manager with information as necessary for log to be complete. The Contractor's log is to be submitted as part of the project close out documents.

3.8 PERSONNEL

- A. If any person employed on the work site is in the opinion of the Owner intemperate, disorderly, willfully negligent or dishonest in the performance of his duties, he or she shall be directed to cease work and vacate the job site immediately.

3.9 RADIOS/BOOM BOXES

- A. The use of radios and "boom boxes" will be strictly monitored so the volume and content of music, talk radio, etc. is not disruptive to Owner's use of premises.

3.10 COORDINATION

- A. Examine contract documents covering work of all trades coming in contact with, or superimposed on work of each trade. Become acquainted with whole project's work to achieve its coordinated,

efficient and timely performance. Provide all work and material of each trade necessary for receiving, executing and completing work coming in contact with it. No extra charge or compensation is allowed on account of additional work resulting from lack of coordination.

3.11 APPLICATION OF DOCUMENTS

- A. Drawings and specifications are considered mutually explanatory and all work called for by one and not the other shall be performed as though called for by both. In cases of conflicting information, the Architect shall be notified at once, in writing.
- B. If doubts as to the true meaning of part of the contract documents, ask the Architect for interpretation to the final authority on any interpretation of the contract documents.
- C. In the absence of any specific instruction or specification, employ workmanship and material approved by the Architect, quality equal to that in the contract documents.

3.12 ARCHITECT'S REPRESENTATIVE

- A. Architect's representative may inspect all work for conformity with contract documents, reporting any nonconformity or question of document interpretation to Architect for decision.

END OF SECTION

SECTION 014000 - QUALITY CONTROL

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Quality assurance - control of installation.
- B. Tolerances
- C. References and standards.
- D. Mock-up.
- E. Inspecting and testing laboratory services.
- F. Manufacturers' field services.

1.2 RELATED SECTIONS

- A. Section 016000 - Material and Equipment

1.3 QUALITY ASSURANCE - CONTROL OF INSTALLATION

- A. Monitor quality control over suppliers, manufacturers, Products, services, site conditions, and workmanship, to produce Work of specified quality.
- B. Comply with manufacturers' instructions, including each step in sequence.
- C. Should manufacturers' instructions conflict with Contract Documents, request clarification from Owner/Architect/Engineer prior to proceeding.
- D. Comply with specified standards as minimum quality for the Work except where more stringent tolerances, codes, or specified requirements indicate higher standards or more precise workmanship.
- E. Perform Work by persons qualified to produce required and specified quality.
- F. Verify that field measurements are as indicated on shop drawings or as instructed by the manufacturer.
- G. Secure Products in place with positive anchorage devices designed and sized to withstand stresses, vibration, physical distortion, or disfigurement.

1.4 TOLERANCES

- A. Monitor fabrication and installation tolerance control of Products to produce acceptable Work. Do not permit tolerances to accumulate.
- B. Comply with manufacturers' tolerances. Should manufacturers' tolerances conflict with Contract Documents, request clarification from Architect/Engineer prior to proceeding.
- C. Adjust Products to appropriate dimensions; position before securing Products in place.

1.5 REFERENCES AND STANDARDS

- A. For Products or workmanship specified by association, trade, or other consensus standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable codes.
- B. Conform to reference standard by date of issue current on date of Contract Documents, except where a specific date is established by code.
- C. Obtain copies of standards where required by product specification sections.
- D. Neither the contractual relationships, duties, or responsibilities of the parties in Contract nor those of the Architect/Engineer shall be altered from the Contract Documents by mention or inference otherwise in any reference document.

1.6 MOCK-UP

- A. Tests will be performed under provisions identified in this section and identified in the respective product specification sections.
- B. Assemble and erect specified items with specified attachment and anchorage devices, flashings, seals, and finishes.
- C. Accepted mock-ups shall be a comparison standard for the remaining Work.

- D. Where mock-up has been accepted by Owner/Architect/Engineer and is specified in product specification sections to be removed; remove mock-up and clear area when directed to do so.

1.7 TESTING SERVICES

- A. Owner will appoint, employ, and pay for specified services of an independent firm to perform testing.
- B. The independent firm will perform tests and other services specified in individual specification sections and as required by the Architect/Engineer.
- C. Testing and source quality control may occur on or off the project site. Perform off-site testing as required by the Architect/Engineer or the Owner.
- D. Reports will be submitted by the independent firm to the Owner and Architect, in duplicate, indicating observations and results of tests and indicating compliance or non-compliance with Contract Documents.
- E. Cooperate with independent firm; furnish samples of materials, design mix, equipment, tools, storage, safe access, and assistance by incidental labor as requested.
 - 1. Notify Owner/Architect/Engineer and independent firm 24 hours prior to expected time for operations requiring services.
 - 2. Make arrangements with independent firm and pay for additional samples and tests required for Contractor's use.
- F. Testing does not relieve Contractor to perform Work to contract requirements.
- G. Re-testing required because of non-conformance to specified requirements shall be performed by the same independent firm on instructions by the Architect/Engineer. Payment for re-testing will be charged to the Contractor by deducting testing charges from the Contract Sum/Price.

1.8 INSPECTION SERVICES

- A. Owner will appoint, employ, and pay for specified services of an independent firm to perform inspection.
- B. The independent firm will perform inspections and other services specified in individual specification sections and as required by the Owner/Architect/Engineer.
- C. Inspecting may occur on or off the project site. Perform off-site inspecting as required by the Architect/Engineer or the Owner.
- D. Reports will be submitted by the independent firm to the Owner and Architect, in duplicate, indicating inspection observations and indicating compliance or non-compliance with Contract Documents.
- E. Cooperate with independent firm; furnish safe access and assistance by incidental labor as requested.
- F. Notify Owner/Architect/Engineer and independent firm 24 hours prior to expected time for operations requiring services.
- G. Inspecting does not relieve Contractor to perform Work to contract requirements.

1.9 MANUFACTURERS' FIELD SERVICES

- A. When specified in individual specification sections, require material or Product suppliers or manufacturers to provide qualified staff personnel to observe site conditions, conditions of surfaces and installation, quality of workmanship, start-up of equipment, test, adjust and balance of equipment, as applicable, and to initiate instructions when necessary.
- B. Submit qualifications of observer to Owner/Architect/Engineer 30 days in advance of required observations.
- C. Provide written report to Owner and Architect, in duplicate, of observations and site decisions or instructions given to applicators or installers that are supplemental or contrary to manufacturers' written instructions.

PART 2 PRODUCTS

Not Used

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that existing site conditions and substrate surfaces are acceptable for subsequent Work. Beginning new Work means acceptance of existing conditions.
- B. Verify that existing substrate is capable of structural support or attachment of new Work being applied or attached.
- C. Examine and verify specific conditions described in individual specification sections.
- D. Verify that utility services are available, of the correct characteristics, and in the correct locations.

3.2 PREPARATION

- A. Clean substrate surfaces prior to applying next material or substance.
- B. Seal cracks or openings of substrate prior to applying next material or substance.
- C. Apply manufacturer required or recommended substrate primer, sealer, or conditioner prior to applying any new material or substance in contact or bond.

END OF SECTION

SECTION 016000 - MATERIAL AND EQUIPMENT

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Products.
- B. Transportation and handling.
- C. Storage and protection.
- D. Product options.
- E. Substitutions.

1.2 RELATED SECTIONS

- A. Section 014000 – Quality Control

1.3 PRODUCTS

- A. Do not use materials and equipment removed from existing premises, except as specifically permitted by the Contract Documents.
- B. Provide interchangeable components of the same manufacture for components being replaced.

1.4 TRANSPORTATION AND HANDLING

- A. Transport and handle Products in accordance with manufacturer's instructions.
- B. Promptly inspect shipments to ensure that Products comply with requirements, quantities are correct, and Products are undamaged.
- C. Provide equipment and personnel to handle Products by methods to prevent soiling, disfigurement, or damage.

1.5 STORAGE AND PROTECTION

- A. Store and protect Products in accordance with manufacturers' instructions.
- B. Store with seals and labels intact and legible.
- C. Store sensitive Products in weather tight, climate controlled, enclosures in an environment favorable to Product.
- D. For exterior storage of fabricated Products, place on sloped supports above ground.
- E. Provide bonded off-site storage and protection when site does not permit on-site storage or protection.
- F. Cover products subject to deterioration with impervious sheet covering. Provide ventilation to prevent condensation and degradation of Products.
- G. Store loose granular materials on solid flat surfaces in a well-drained area. Prevent mixing with foreign matter.
- H. Provide equipment and personnel to store Products by methods to prevent soiling, disfigurement, or damage.
- I. Arrange storage of Products to permit access for inspection. Periodically inspect to verify Products are undamaged and are maintained in acceptable condition.
- J. Protect steel decking from corrosion, deformation, and other damage during delivery, storage, and handling.
- K. Stack steel deck on platforms or pallets and slope to provide drainage. Protect with a waterproof covering and ventilate to avoid condensation.

1.6 PRODUCT OPTIONS

- A. Products Specified by Reference Standards or by Description Only: Any Product meeting those standards or description.
- B. Products Specified by Naming One or More Manufacturers: Products of manufacturers named and meeting specifications, no options or substitutions allowed.

- C. Products Specified by Naming One or More Manufacturers with a Provision for Substitutions:
Submit a request for substitution for any manufacturer not named in accordance with the following article.

1.7 SUBSTITUTIONS

- A. Owner/Architect/Engineer will consider requests for Substitutions only within 15 days after date of Owner-Contractor Agreement.
- B. Substitutions may be considered when a Product becomes unavailable through no fault of the Contractor.
- C. Document each request with complete data substantiating compliance of proposed Substitution with Contract Documents.
- D. A request constitutes a representation that the Contractor:
 - 1. Has investigated proposed Product and determined that it meets or exceeds the quality level of the specified Product.
 - 2. Will provide the same warranty for the Substitution as for the specified Product.
 - 3. Will coordinate installation and make changes to other Work which may be required for the Work to be complete with no additional cost to Owner.
 - 4. Waives claims for additional costs or time extension which may subsequently become apparent.
 - 5. Will reimburse Owner and Architect/Engineer for review or redesign services associated with re-approval by authorities.
- E. Substitutions will not be considered when they are indicated or implied on shop drawing or product data submittals, without separate written request, or when acceptance will require revision to the Contract Documents.
- F. Substitution Submittal Procedure:
 - 1. Submit three copies of request for Substitution for consideration. Limit each request to one proposed Substitution.
 - 2. Submit shop drawings, product data, and certified test results attesting to the proposed Product equivalence. Burden of proof is on proposer.
 - 3. The Owner/Architect/Engineer will notify Contractor in writing of decision to accept or reject request.

PART 2 PRODUCTS
Not Used.

PART 3 EXECUTION
Not Used.

END OF SECTION

SECTION 017310 - CUTTING AND PATCHING

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes procedural requirements for cutting and patching.

1.2 SUBMITTALS

- A. Cutting and Patching Proposal: Submit a proposal describing procedures at least 10 days before the time cutting and patching will be performed, requesting approval to proceed. Include the following information:
 1. Extent: Describe cutting and patching, show how they will be performed, and indicate why they cannot be avoided.
 2. Changes to In-Place Construction: Describe anticipated results. Include changes to structural elements and operating components as well as changes in building's appearance and other significant visual elements.
 3. Products: List products to be used and firms or entities that will perform the Work.
 4. Dates: Indicate when cutting and patching will be performed.
 5. Utility Services and Mechanical/Electrical Systems: List services/systems that cutting and patching procedures will disturb or affect. List services/systems that will be relocated and those that will be temporarily out of service. Indicate how long services/systems will be disrupted.
 6. Structural Elements: Where cutting and patching involve adding reinforcement to structural elements, submit details and engineering calculations showing integration of reinforcement with original structure.

1.3 QUALITY ASSURANCE

- A. Structural Elements: Do not cut and patch structural elements in a manner that could change their load-carrying capacity or load-deflection ratio.
 1. Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety.
 2. Miscellaneous Elements: Do not cut and patch miscellaneous elements or related components in a manner that could change their load-carrying capacity, that results in reducing their capacity to perform as intended, or that results in increased maintenance or decreased operational life or safety.
- B. Visual Requirements: Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in Architect's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner.

1.4 WARRANTY

- A. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during cutting and patching operations, by methods and with materials so as not to void existing warranties.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. General: Comply with requirements specified in other Sections.
- B. In-Place Materials: Use materials identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible.
 1. If identical materials are unavailable or cannot be used, use materials that, when installed, will match the visual and functional performance of in-place materials.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine surfaces to be cut and patched and conditions under which cutting and patching are to be performed.
 - 1. Compatibility: Before patching, verify compatibility with and suitability of substrates, including compatibility with in-place finishes or primers.
 - 2. Proceed with installation only after unsafe or unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Temporary Support: Provide temporary support of Work to be cut.
- B. Protection: Protect in-place construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of Project that might be exposed during cutting and patching operations.
- C. Adjoining Areas: Avoid interference with use of adjoining areas or interruption of free passage to adjoining areas.
- D. Existing Utility Services and Mechanical/Electrical Systems: Where existing services/systems are required to be removed, relocated, or abandoned, bypass such services/systems before cutting to prevent interruption to occupied areas.

3.3 PERFORMANCE

- A. General: Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay.
 - 1. Cut in-place construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.
- B. Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with Owner.
 - 1. In general, use hand or small power tools designed for sawing and grinding, not hammering and chopping. Cut holes and slots as small as possible, neatly to size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use.
 - 2. Finished Surfaces: Cut or drill from the exposed or finished side into concealed surfaces.
 - 3. Mechanical and Electrical Services: Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal remaining portion of pipe or conduit to prevent entrance of moisture or other foreign matter after cutting.
 - 4. Proceed with patching after construction operations requiring cutting are complete.
- C. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other Work. Patch with durable seams that are as invisible as possible. Provide materials and comply with installation requirements specified in other Sections.
 - 1. Inspection: Where feasible, test and inspect patched areas after completion to demonstrate integrity of installation.
 - 2. Exposed Finishes: Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will eliminate evidence of patching and refinishing.
 - 3. Floors and Walls: Where walls or partitions that are removed extend one finished area into another, patch and repair floor and wall surfaces in the new space. Provide an even surface of uniform finish, color, texture, and appearance. Remove in-place floor and wall coverings and replace with new materials, if necessary, to achieve uniform color and appearance.
 - 4. Ceilings: Patch, repair, or rehang in-place ceilings as necessary to provide an even-plane surface of uniform appearance.
- D. Cleaning: Clean areas and spaces where cutting and patching are performed. Completely remove paint, mortar, oils, putty, and similar materials.

END OF SECTION

SECTION 017320 - SELECTIVE DEMOLITION

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes the following:
 - 1. Demolition and removal of selected portions of building or structure.
 - 2. Removal of designated partitions, ceilings and components.
 - 3. Removal and legal disposal of demolished or removed material.
 - 4. Salvage of existing items to be reused or recycled.
 - 5. Temporary protection of materials or products scheduled for reuse.

1.2 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site, unless indicated to be removed and salvaged or removed and reinstalled.
- B. Remove and Salvage: Detach items from existing construction and deliver them to Owner ready for reuse.
- C. Remove and Reinstall: Detach items from existing construction, prepare them for reuse, and reinstall them where indicated.
- D. Existing to Remain: Existing items of construction that are not to be removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.

1.3 SUBMITTALS

- A. Schedule of Selective Demolition Activities: Indicate detailed sequence of selective demolition and removal work, with starting and ending dates for each activity, interruption of utility services, and locations of temporary partitions and means of egress.

1.4 QUALITY ASSURANCE

- A. Demolition Firm Qualifications: An experienced firm that has specialized in demolition work similar in material and extent to that indicated for this Project.
- B. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
- C. Standards: Comply with ANSI A10.6 and NFPA 241.
- D. Pre-demolition Conference: Conduct conference at Project site.

1.5 PROJECT CONDITIONS

- A. The Owner assumes no responsibility for actual condition of areas of site items to be demolished. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
 - 1. Before selective demolition, Contractor to remove existing furniture to location as determined by the Owner.
- B. Notify Owner and Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition.
- C. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
 - 1. Maintain fire-protection facilities in service during selective demolition operations.
 - 2. Do not interrupt existing utilities serving occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing facilities, as acceptable to governing authorities.
 - 3. Contractor shall arrange for shut-off of utilities. Disconnecting and sealing of indicated utilities before starting demolition operations is part of this work.
- D. Traffic: Conduct demolition operations and removal of debris to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities..

1. Do not close or obstruct streets, walks or other occupied or used facilities without permission from authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by governing regulations
- E. Damages: Promptly repair damages caused to adjacent facilities by demolition operations at no cost to Owner.

1.6 WARRANTY

- A. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during selective demolition, by methods and with materials so as not to void existing warranties.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped where required.
- B. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- C. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged.
- D. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Architect.

3.2 UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- A. Existing Services/Systems: Maintain services/systems indicated to remain and protect them against damage during selective demolition operations.
- B. Service/System Requirements: Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.
 1. Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal remaining portion of pipe or conduit after bypassing.

3.3 PREPARATION

- A. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
- B. Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent items to remain.
- C. Temporary Shoring: Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

3.4 SELECTIVE DEMOLITION

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:
 1. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
 2. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
 3. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting

- flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.
4. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
 5. Dispose of demolished items and materials promptly.
- B. Removed and Salvaged Items:
1. Clean salvaged items.
 2. Store items in a secure area until delivery to Owner.
 3. Transport items to Owner's storage area designated by Owner.
 4. Protect items from damage during transport and storage.
- C. Removed and Reinstalled Items:
1. Clean and repair items to functional condition adequate for intended reuse.
 2. Protect items from damage during transport and storage.
 3. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.
- D. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.
- 3.5 ADJUSTING
- A. Repair any damage to structure caused by construction activities.
- 3.6 DISPOSAL OF DEMOLISHED MATERIALS
- A. General: Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them.
- B. Burning: Do not burn demolished materials.
- C. Disposal: Transport demolished materials off Owner's property and legally dispose of them.
- D. Removal: Contractor shall make all necessary arrangements for times for actual trucking away of debris so as to not interfere with Owner's operation.
- 3.7 CLEANING
- A. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.
- B. Streets and drive shall be kept reasonably clean and shall be swept when necessary to remove any spilled debris.

END OF SECTION

SECTION 017700 - CONTRACT CLOSEOUT

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Closeout procedures.
- B. Final cleaning.
- C. Adjusting.
- D. Project record documents.
- E. Operation and maintenance data.
- F. Spare parts and maintenance Products.
- G. Warranties and bonds.
- H. Maintenance service.

1.2 CLOSEOUT PROCEDURES

- A. Submit written certification that Contract Documents have been reviewed, Work has been inspected, and that Work is complete in accordance with Contract Documents and ready for Owner/Architect/Engineer's review.
- B. Provide submittals to Architect that are required by governing or other authorities.

1.3 FINAL CLEANING

- A. Execute final cleaning prior to final project assessment.
- B. Clean interior and exterior glass, surfaces exposed to view; remove temporary labels, stains and foreign substances, polish transparent and glossy surfaces,
- C. Clean equipment and fixtures to a sanitary condition with cleaning materials appropriate to the surface and material being cleaned.
- D. Replace filters of operating equipment.
- E. Clean debris from roofs, gutters, downspouts, and drainage systems.
- F. Clean site; sweep paved areas, rake clean landscaped surfaces.
- G. Remove waste and surplus materials, rubbish, and construction facilities from the site.

1.4 ADJUSTING

- A. Adjust operating Products and equipment to ensure smooth and unhindered operation.

1.5 PROJECT RECORD DOCUMENTS

- A. Each Contractor is to maintain the record documents pertaining to their work; record actual revisions to the Work:
 - 1. Drawings.
 - 2. Specifications.
 - 3. Addenda.
 - 4. Change Orders and other modifications to the Contract.
 - 5. Reviewed Shop Drawings, Product Data, and Samples.
 - 6. Manufacturer's instruction for assembly, installation, and adjusting.
- B. Ensure entries are complete and accurate, enabling future reference by Owner.
- C. Store record documents separate from documents used for construction.
- D. Record information concurrent with construction progress.
- E. Specifications: Legibly mark and record at each Product section description of actual Products installed, including the following:
 - 1. Manufacturer's name and product model and number.
 - 2. Product substitutions or alternates utilized.
 - 3. Changes made by Addenda and modifications.
- F. Record Drawings and Shop Drawings: Legibly mark each item to record actual construction including:

1. Measured depths of foundations in relation to finish main floor datum.
 2. Measured horizontal and vertical locations of underground utilities and appurtenances, referenced to permanent surface improvements.
 3. Measured locations of internal utilities and appurtenances concealed in construction, referenced to visible and accessible features of the Work.
 4. Field changes of dimension and detail.
 5. Details not on original Contract drawings.
- G. Submit documents to Construction Manager prior to claim for final Application for Payment.

1.6 OPERATION AND MAINTENANCE DATA

- A. Prepare data in the form of an instructional manual.
- B. Binders: Commercial quality, 8-1/2 x 11 inch three D side ring binders with durable plastic covers; 3 inch maximum ring size. When multiple binders are used, correlate data into related consistent groupings.
- C. Cover: Identify each binder with typed or printed title OPERATION AND MAINTENANCE INSTRUCTIONS; identify title of Project; identify subject matter of contents.
- D. Provide tabbed dividers for each separate product and system, with typed description of product and major component parts of equipment.
- E. Text: Manufacturer's printed data, or typewritten data.
- F. Drawings: Provide with reinforced punched binder tab. Bind in with text; fold larger drawings to size of text pages.
- G. Contents: Prepare a Table of Contents for each volume, with each Product or system description identified, in three parts as follows:
 1. Part 1: Directory, listing names, addresses, and telephone numbers of Architect/Engineer, Contractor, Subcontractors, and major equipment suppliers.
 2. Part 2: Operation and maintenance instructions, arranged by system and subdivided by specification section. For each category, identify names, addresses, and telephone numbers of Subcontractors and suppliers. Identify the following:
 - a) Significant design criteria.
 - b) List of equipment.
 - c) Parts list for each component.
 - d) Operating instructions.
 - e) Maintenance instructions for equipment and systems.
 - f) Maintenance instructions for special finishes, including recommended cleaning methods and materials, and special precautions identifying detrimental agents.
 3. Part 3: Project documents and certificates, including the following:
 - a) Shop drawings and product data.
 - b) Air and water balance reports.
 - c) Certificates.
 - d) Photocopies of warranties and bonds.

1.7 CONTENTS, EACH VOLUME

- A. Table of Contents: Provide title of Project; names, addresses, and telephone numbers of Architect/Engineer, Subconsultants, and Contractor with name of responsible parties; schedule of products and systems, indexed to content of the volume.
- B. For Each Product or System: List names, addresses and telephone numbers of Subcontractors and suppliers, including local source of supplies and replacement parts.
- C. Product Data: Mark each sheet to clearly identify specific products and component parts, and data applicable to installation. Delete inapplicable information.
- D. Drawings: Supplement product data to illustrate relations of component parts of equipment and systems, to show control and flow diagrams.
- E. Typed Text: As required to supplement product data. Provide logical sequence of instructions for each procedure, incorporating manufacturer's instructions specified in Section 01400.

- F. Warranties and Bonds: Bind in copy of each.
- 1.8 MANUAL FOR MATERIALS AND FINISHES
- A. Building Products, Applied Materials, and Finishes: Include product data, with catalog number, size, composition, and color and texture designations. Provide information for re-ordering custom manufactured Products.
 - B. Instructions for Care and Maintenance: Include manufacturer's recommendations for cleaning agents and methods, precautions against detrimental agents and methods, and recommended schedule for cleaning and maintenance.
 - C. Moisture Protection and Weather Exposed Products: Include product data listing applicable reference standards, chemical composition, and details of installation. Provide recommendations for inspections, maintenance, and repair.
 - D. Additional Requirements: As specified in individual Product specification sections.
 - E. Provide a listing in Table of Contents for design data, with tabbed fly sheet and space for insertion of data.
- 1.9 MANUAL FOR EQUIPMENT AND SYSTEMS
- A. Each Item of Equipment and Each System: Include description of unit or system, and component parts. Identify function, normal operating characteristics, and limiting conditions. Include performance curves, with engineering data and tests, and complete nomenclature and model number of replaceable parts.
 - B. Panelboard Circuit Directories: Provide electrical service characteristics, controls, and communications; typed.
 - C. Include color coded wiring diagrams as installed.
 - D. Operating Procedures: Include start-up, break-in, and routine normal operating instructions and sequences. Include regulation, control, stopping, shut-down, and emergency instructions. Include summer, winter, and any special operating instructions.
 - E. Maintenance Requirements: Include routine procedures and guide for preventative maintenance and trouble shooting; disassembly, repair, and reassembly instructions; and alignment, adjusting, balancing, and checking instructions.
 - F. Provide servicing and lubrication schedule, and list of lubricants required.
 - G. Include manufacturer's printed operation and maintenance instructions.
 - H. Include sequence of operation by controls manufacturer.
 - I. Provide original manufacturer's parts list, illustrations, assembly drawings, and diagrams required for maintenance.
 - J. Provide control diagrams by controls manufacturer as installed.
 - K. Provide Contractor's coordination drawings, with color coded piping diagrams as installed.
 - L. Provide charts of valve tag numbers, with location and function of each valve, keyed to flow and control diagrams.
 - M. Provide list of original manufacturer's spare parts, current prices, and recommended quantities to be maintained in storage.
 - N. Include test and balancing reports as specified in Section 01400.
 - O. Additional Requirements: As specified in individual Product specification sections.
 - P. Provide a listing in Table of Contents for design data, with tabbed dividers and space for insertion of data.
 - Q. Submit 1 draft copy of completed volumes 15 days prior to final inspection. This copy will be reviewed and returned after with Architect/Engineer comments. Revise content of all document sets as required prior to final submission.
 - R. Submit two sets of revised final volumes, within 30 days after final inspection.
- 1.10 SPARE PARTS AND MAINTENANCE PRODUCTS
- A. Provide spare parts, maintenance, and extra Products in quantities specified in individual specification sections.
 - B. Deliver to Project site and place in location as directed; obtain receipt prior to final payment.

1.11 WARRANTIES AND BONDS

- A. Provide duplicate notarized copies.
- B. Execute and assemble transferable warranty documents from Subcontractors, suppliers, and manufacturers.
- C. Provide Table of Contents and assemble in three D side ring binder with durable plastic cover.
- D. Submit prior to final Application for Payment.
- E. For items of Work delayed beyond date of Substantial Completion, provide updated submittal within 10 days after acceptance, listing date of acceptance as start of warranty period.

1.12 MAINTENANCE SERVICE

- A. Furnish service and maintenance of components indicated in specification sections for during the warranty period.
- B. Examine system components at a frequency consistent with reliable operation. Clean, adjust, and lubricate as required.
- C. Include systematic examination, adjustment, and lubrication of components. Repair or replace parts whenever required. Use parts produced by the manufacturer of the original component.
- D. Maintenance service shall not be assigned or transferred to any agent or Subcontractor without prior written consent of the Owner.

PART 2 PRODUCTS

Not Used

PART 3 EXECUTION

Not Used

END OF SECTION

SECTION 061000 - ROUGH CARPENTRY

PART 1 GENERAL

1.1 SECTION INCLUDES

A. Rough carpentry as shown on the Drawings and specified herein, including but not limited to the following:

1. Wood grounds, nailers, furring, and blocking.
2. Rough hardware.
3. All other items of rough and finished carpentry as required to complete all work of this section.

1.2 QUALITY ASSURANCE

A. Grading Rules:

1. Lumber grading rules and wood species shall conform with Voluntary Product Standard PS 20. Grading rules of the following associations shall also apply to materials produced under their supervision:

a. Lumber Manufacture's Association, Inc. (NELMA).

2. Plywood shall conform to the following:

a. Softwood Plywood - Construction Product Standard PS 1.

b. Hardwood Plywood - Product Standard PS 51.

B. Grade Marks: Identify all lumber and plywood by official grade mark.

1. Lumber: Grade stamp to contain symbol of grading agency, mill number or name, grade of lumber, species or species grouping or combination designation, rules under which graded, where applicable and condition of seasoning at time of manufacture.

a. S-Dry: Maximum 19 percent moisture content.

b. MC-5 or KD: Maximum 15 percent moisture content.

c. Dense.

2. Softwood Plywood: Appropriate grade trademark of the American Plywood Association.

a. Type, grade, class and identification index.

b. Inspection and testing agency mark.

3. Hardwood Plywood: Appropriate grade mark of qualified inspection, testing, or grading agency.

C. Testing: ASTM E 84, maximum 25 Flame Spread Rating.

D. Requirements of Regulatory Agencies:

1. Fire Hazard Classification: Underwriters Laboratory, Inc., for treated lumber and plywood.

2. Preserve Treated Lumber and Plywood: American Wood Preservers Bureau, Quality Mark.

3. Pressure Treated Material: American Wood Preservers Bureau Standards.

4. Span Tables: National Forest Products Association.

5. Working Stresses: Softwood Lumber, National Design Specification, National Forest Products Association.

1.3 REFERENCES

A. PS-1 - Construction and Industrial Plywood.

B. PS-20 - American Softwood Lumber Standard.

C. PS-58 - Basic Hardwood.

D. AWPB-LP-22 - American Wood Preservers Bureau Standard for Softwood lumber, timbers and plywood pressure treated with waterborne preservatives for ground contact use.

- E. AWPB-C-20 - American Wood Preservers Association fire retardant pressure treatment - structural lumber.
- F. AWPAC-27 - American Wood Preservers Association fire retardant pressure treatment - plywood.
- G. S.D.I. 105 - Steel Door Institute recommended erection instruction for steel frames.
- H. Underwriters Laboratory Building Material Directory.
- I. FM-I-49 - Factory Mutual Loss Prevention data perimeter flashing.

1.4 SUBMITTALS

- A. Submit the following to owner as required:
 - 1. Submit certification by treating plant stating chemicals and process used, net amount of salts retained, and conformance with applicable standards.
 - 2. Preservation Treated Wood: Submit certification for water-borne preservative that moisture content was reduced to 19 percent maximum, after treatment.
 - 3. Fire-Retardant Treatment: Submit certification by treating plant that fire-retardant treatment materials comply with governing ordinances and that treatment will not bleed through finished surfaces.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Immediately upon delivery to job site, place materials in area protected from weather.
- B. Store materials a minimum of 6" above ground on framework or blocking and cover with protective water-proof covering, providing adequate air circulation or ventilation.
- C. Seasoned materials shall not be stored in wet or damp areas.
- D. Protect sheet materials from corners breaking and damaging surfaces, while unloading.
- E. Do not deliver shop fabricated carpentry items until site conditions are adequate to receive the work. Protect items from weather while in transit.

PART 2 PRODUCTS

2.1 MATERIALS

- A. Lumber: PS-20; graded in accordance with established Grading rules: maximum moisture content of 19 percent; surfaced four sides (S4S) unless otherwise shown or specified:
 - 1. General Framing, Blocking and Plates: Douglas Fir-Larch or Southern Pine; Grade No. 2 or better.
 - 2. Bracing and Nailers: Construction Grade 2.
- B. Plywood Sheathing: APA Structured I, PSI-83.
- C. Exterior Plywood: APA rated, B-B EXT-APA.
- D. Preservative Treated Wood:
 - 1. Exterior: Pressure treated in accordance with AWPB-LP 22, kiln dry after treatment. Each piece to have LP-22 and KDAT stamp affixed.
 - 2. Interior: Pressure treated in accordance with AWPB-C 20, kiln dry after treatment. Each piece to have UL-FR-S and KDAT stamp affixed.
- E. Fire Retardant Treated Wood: throughout
 - 1. Lumber AWPB C20.
 - 2. Plywood AWPB C27.
- F. Rough Hardware: Zinc coated steel, unless otherwise shown or specified:
 - 1. Bolts: FS FF-B-575C.
 - 2. Nuts: FS FF-N-836C.
 - 3. Expansion Shields: FS FF-B-561C.
 - 4. Lag Screws and Bolts: FS FF-B-561C.
 - 5. Toggle Bolts: FS FF-B-588C.
 - 6. Wood Screws: S FF-S-111D.
 - 7. Nails and Staples: FS FF-N-105B.

- G. Other Materials: Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

PART 3 EXECUTION

3.1 SURFACE CONDITIONS

- A. Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 DELIVERIES

- A. Stockpile materials sufficiently in advance of need to assure their availability in a timely manner for this Work.
- B. Make as many trips to the job site as are needed to deliver materials of this Section in a timely manner to ensure orderly progress of the work.
- C. Protect lumber against dampness before and after delivery. Store under cover in a well ventilated area and where not exposed to extreme changes of temperature or humidity until used. Stack materials loosely, not close together or in solid piles. Protect from mechanical injury, stain or splash, and from heavy and unnecessary traffic.
- D. Do not store or install finished lumber in any part of the building until concrete, masonry and plaster are dry.
- E. Receive, unload and store all related items to be installed by this contractor, but furnished by others.

3.3 COMPLIANCE

- A. Do not permit materials not complying with the provisions of this Section to be brought onto or to be stored at the job site.
- B. Promptly remove non-complying materials from the job site and replace with materials meeting the requirements of this Section.

3.4 WORKMANSHIP

- A. Produce joints which are tight, true, and well nailed, with members assembled in accordance with the Drawings and with pertinent codes and regulations.
- B. Selection of lumber pieces:
 - 1. Carefully select the members.
 - 2. Select individual pieces so that knots and obvious defects will not interfere with placing bolts or proper nailing, and will allow making of proper connections.
 - 3. Cut out and discard defects which render a piece unable to serve its intended function.
 - 4. Lumber may be rejected by the Architect, whether or not it has been installed, for excessive warp, twist, bow, crook, mildew, fungus, or mold, as well as for improper cutting and fitting.
- C. Do not shim any framing component.

3.5 INSTALLATION

- A. General:
 - 1. In addition to framing operations normal to the fabrication and erection indicated on the Drawings, install wood blocking and backing required for the work of other trades.
 - 2. Set horizontal and sloped members with crown up.
 - 3. Do not notch, cut, or bore members for pipes, ducts, or conduits, or for other reasons except as shown on the Drawings or as specifically approved in advance by the Architect.
- B. Bearings:

1. Make bearings full unless otherwise indicated on the Drawings.
2. Finish bearing surfaces on which structural members are to rest so as to give sure and even support.
3. Where framing members slope, cut or notch the ends as required to give uniform bearing surface.

3.6 BLOCKING

- A. Install blocking as required to support items of finish and to cut off concealed draft openings, both vertical and horizontal, between ceiling and floor areas.
- B. Wood blocking should allow for a snug fit and be level and plumb.

3.7 WOOD PRODUCTS

- A. Provide pressure treated wood for all framing, blocking, furring, nailing strips built into exterior masonry walls, wood in contact with concrete and in conjunction with couplings and roofing membrane.
- B. Provide fire-retardant treated lumber for all interior wood, lumber and plywood including but not limited to wood trusses, rafters, joists, studs, plates, blocking and plywood.
- C. Apply two brush coats of same preservative used in original treatment to all sawed or cut surfaces of treated lumber.

3.8 ALIGNMENT

- A. On framing members to receive a finished surface, align the finish subsurface to vary not more than 1/8" from the plane of surfaces of adjacent furring and framing members.

3.9 CLEAN-UP

- A. Debris shall be swept up daily, placed in metal containers with metal covers and removed from premises at least weekly with all other rubbish and waste materials.
- B. Contractor to remove all scrap materials and packaging materials created by his work, as work progresses and dispose of legally off-site.

END OF SECTION

- THE OWNER RESERVES THE RIGHT TO REMOVE & SAVE SALVAGEABLE MATERIALS, EQUIPMENT & PARTS OF BUILDING PRIOR TO OR DURING DEMO., CONTRACTOR TO VERIFY & TAG ALL ITEMS TO BE SAVED.
- MECH., PLUMB., ELEC., GAS, WATER & OTHER UTILITY LINES & EQUIP. AFFECTED SHALL BE SHUTOFF, CAPPED, DISCONNECTED &/OR REROUTED PRIOR TO COMMENCING DEMO. WORK AS NECESSARY TO ACCOMMODATE THE WORK & DESIGN U.N.O.
- CONTRACTOR IS TO REMOVE ALL ITEMS REQUIRED FOR INSTALLATION OF NEW WORK, WHETHER INDICATED OR NOT, VERIFY ALL CONDITIONS IN FIELD AS NECESSARY TO ACCOMMODATE THE WORK & DESIGN PRIOR TO BIDDING.
- CONTACT ARCHITECT SHOULD EXISTING CONDITIONS VARY FROM PLANS.
- PROTECT BUILDING PARTS & AREAS DESIGNATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- REMOVE UNSALVAGABLE OR UNUSED DEMOLISHED MATERIALS, EXCESS, WASTE MATERIALS & DEBRIS FROM SITE & DISPOSE OF PROPERLY IN ACCORDANCE W/ GOVERNING CODES. REMOVE & PROMPTLY DISPOSE OF CONTAMINATED OR DANGEROUS MATERIALS ENCOUNTERED. ALL HAZARDOUS MATERIALS SHALL BE DISPOSED OF AT APPROVED FACILITIES AND SHALL COMPLY WITH ALL ENVIRONMENTAL AND OTHER CODES.
- CONDUCT OPERATIONS W/ MINIMUM INTERFERENCE TO PUBLIC & PRIVATE ACCESSES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- PROVIDE BARRIERS TO CONTROL DUST BETWEEN AREAS OF WORK & OCCUPIED AREAS, AS REQUIRED.
- CONTRACTOR IS TO VERIFY IN FIELD ALL DIMENSIONS & COORDINATE AS NECESSARY TO ACCOMMODATE THE WORK & DESIGN. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD MEASUREMENTS AND MATERIAL CALCULATIONS.

DRAWINGS ISSUED FOR BID

- GENERAL**
 G-0 COVER SHEET
 G-1 GENERAL NOTES AND ABBREVIATIONS
- ARCHITECTURAL DRAWINGS**
 A-1 PROJECT KEYNOTES
 A-2 EXISTING BASEMENT FLOOR DEMOLITION PLAN AND EXISTING CONDITIONS
 A-3 EXISTING FIRST FLOOR DEMOLITION PLAN
 A-4 PROPOSED BASEMENT FLOOR PLAN
 A-5 PROPOSED FIRST FLOOR PLAN
 A-6 PARTITION TYPES
 A-7 PARTITION TYPES
 A-8 DETAILS
- STRUCTURAL DRAWINGS**
 S-1 FIRST FLOOR REINFORCING PLAN
 S-2 REINFORCING DETAILS
 S-3 GENERAL STRUCTURAL NOTES

REFERENCE DRAWINGS (FUTURE SCOPE OF WORK)

- ARCHITECTURAL DRAWINGS (ISSUED FOR REFERENCE ONLY)**
 AR-1 PROJECT KEYNOTES
 AR-2 BASEMENT FLOOR DEMOLITION PLAN
 AR-3 FIRST FLOOR DEMOLITION PLAN
 AR-4 BASEMENT FLOOR PLAN
 AR-5 FIRST FLOOR PLAN
 AR-6 BASEMENT FLOOR REFLECTED CEILING PLAN
 AR-7 FIRST FLOOR REFLECTED CEILING PLAN
 AR-8 EXTERIOR ELEVATIONS
 AR-9 EXTERIOR ELEVATIONS
 AR-10 EXTERIOR ELEVATIONS
 AR-11 INTERIOR ELEVATIONS
 AR-12 PARTITION TYPES
 AR-13 PARTITION TYPES
 AR-14 DETAILS
 AR-15 REFERENCE PHOTOS
- PLUMBING DRAWINGS (ISSUED FOR REFERENCE ONLY)**
 P-1 BASEMENT PLAN
 P-2 FIRST FLOOR PLAN
 P-3 PLUMBING SCHEDULES
 P-4 PLUMBING DIAGRAMS
- ELECTRICAL DRAWINGS (ISSUED FOR REFERENCE ONLY)**
 E-0 ELECTRICAL SYMBOL LIST, GENERAL NOTES AND SPECIFICATIONS
 E-1 BASEMENT ELECTRICAL PLAN
 E-2 FIRST FLOOR ELECTRICAL PLAN
 E-3 ELECTRICAL SCHEDULES
- MECHANICAL DRAWINGS (ISSUED FOR REFERENCE ONLY)**
 M-1 MECHANICAL BASEMENT PLAN
 M-2 MECHANICAL FIRST FLOOR PLAN
 M-3 MECHANICAL SCHEDULES AND NOTES

2 INDEX OF DRAWINGS

SCALE: NTS

GENERAL

- PARTIAL DEMOLITION OF SELECTED EXISTING INTERIOR CARPENTRY, AS NOTED

CARPENTRY

- INSTALLATION OF NEW FLOOR JOISTS AND REINFORCEMENT OF EXISTING FLOOR STRUCTURE
 - ROUGH CARPENTRY AND FRAMING FOR NEW INTERIOR WALL PARTITIONS, AS NOTED
 - INSTALLATION OF NEW DESIGN / BUILD INTERIOR STAIR, AS NOTED

STRUCTURAL

- REFER TO ATTACHED STRUCTURAL DRAWINGS FOR DETAILED INFORMATION

1 GENERAL NOTES

SCALE: NTS

3 GENERAL SCOPE OF WORK

SCALE: NTS

DETAIL/ SECTION/ ELEVATION/ IDENTIFICATION	DETAIL/ DRAWING NUMBER SHEET NUMBER		∠ ANGLE	DEMO. DEMOLITION	DIA., ∅ DIAMETER	GRT. GROUT	MIN. MINIMUM	SHT. SHEET
INTERIOR ELEVATION IDENTIFICATION	ELEVATION NUMBER/ SHEET NUMBER		ACT. ACTUAL	DIAG. DIAGONAL	GYP. GYPSUM	MISC. MISCELLANEOUS	SIM. SIMILAR	
ELEVATION MARK	LOCATION ELEVATION		A/C AIR CONDITIONING	DIM. DIMENSION	GYP. BD. GYPSUM BOARD	M'WORK MILLWORK	SPEC. SPECIFICATION/ SPECIFIED	
ROOM NUMBER IDENTIFICATION	REFER TO ROOM FINISH SCHEDULE		A.F.F. ABOVE FINISHED FLOOR	DN. DOWN	H.M. HOLLOW METAL	M.O. MASONRY OPENING	SQ. SQUARE	
DOOR NUMBER IDENTIFICATION	REFER TO DOOR SCHEDULE		ADJ. ADJACENT	DR. DOOR	HD. HEAD	MTD. MOUNTED	S/V STAIN & VARNISH	
WALL TYPE IDENTIFICATION	REFER TO PARTITION TYPE DETAILS		ADJA. ADJACENT	DRG. DRAWING	HDWD. HARDWOOD	N.I.C. NOT IN CONTRACT	STD. STANDARD	
TOILET ACCESSORY IDENTIFICATION	REFER TO ACCESSORY SCHEDULE		ALT. ALTERNATE	E.J. EXPANSION JOINT	HORIZ. HORIZONTAL	NO., # NUMBER	STL. STEEL	
WALL SECTION	SECTION NUMBER/ LETTER/ SHEET NUMBER		ALUM. ALUMINUM	E.W. EACH WAY	HT. HEIGHT	NOM. NOMINAL	STRUCT. STRUCTURAL	
NOTE TAG IDENTIFICATION	REFER TO KEY NOTES		APPROX. APPROXIMATELY	E.W.C. ELECTRIC WATER COOLER	HR. HOUR	N.T.S. NOT TO SCALE	SUSP. SUSPENDED	
			ARCH. ARCHITECTURAL	EA. EACH	I.D. INSIDE DIAMETER	OPG. OPENING	T.A. TOILET ACCESSORIES	
			@ AT	EL. ELEVATION	IN. INCH	OPP. OPPOSITE	T. & B. TOP AND BOTTOM	
			BD. BOARD	ELEV. ELEVATOR	INCL. INCLUDED	O.D. OUTSIDE DIAMETER	T/ TOP OF	
			BLDG. BUILDING	ELECT. ELECTRICAL	INSUL. INSULATION	PARTN. PARTITION	T/C TOP OF CONCRETE	
			BLK. BLOCK	EQ. EQUAL	INT. INTERIOR	P. LAM. PLASTIC LAMINATE	THRU THROUGH	
			BLKG. BLOCKING	EXIST. EXISTING	INV. INVERT	PLUMB. PLUMBING	TYP. TYPICAL	
			BTW. BETWEEN	EXP. EXPOSED	JT. JOINT	PLWD. PLYWOOD	U.N.O. UNLESS NOTED OTHERWISE	
			B/ BOTTOM OF	EXT. EXTERIOR	JAN. JANITORS	P.T. PORCELAIN TILE	UR. URINAL	
			BRK. BRICK	F.A. FIRE ALARM	J. BOX JUNCTION BOX	PTD. PAINTED	V.C.T. VINYL COMPOSITION TILE	
			BOT. BOTTOM	F.B. FACE BRICK	KIT. KITCHEN	PREFIN. PREFINISHED	VERT. VERTICAL	
			CAP. CAPACITY	F.D. FLOOR DRAIN	LAV. LAVATORY	PNL. PANEL	VEST. VESTIBULE	
			∅ CENTER LINE	F.E. FIRE EXTINGUISHER	LEV. LEVEL	R.O. ROUGH OPENING	V.I.F. VERIFY IN FIELD	
			C.J. CONTROL JOINT	F.E.C. FIRE EXTINGUISHER CABINET	LT. LIGHT	REC. RECESSED	W/ WITH	
			C.M.U. CONCRETE MASONRY UNIT	FDN. FOUNDATION	LTG. LIGHTING	REINF. REINFORCED	W.C. WATER CLOSET	
			CEM. CEMENT	FIN. FINISH	LT. WT. LIGHT WEIGHT	REQD. REQUIRED	W.W.F. WELDED WIRE FABRIC	
			C.T. CERAMIC TILE	FLR. FLOOR	M. METER	RES. RESISTANT	WD. WOOD	
			CLO. CLOSET	FLUOR. FLUORESCENT	MAINT. MAINTENANCE	RESIL. RESILIENT	W/O WITHOUT	
			CLG. CEILING	FT. FOOT	MACH. MACHINE	RM. ROOM	WSCT. WAINSCOT	
			COL. COLUMN	FTG. FOOTING	MAS. MASONRY	S.C. SOLID CORE		
			CONC. CONCRETE	GA. GAUGE	MATL. MATERIAL	S.S. STAINLESS STEEL		
			CONSTR. CONSTRUCTION	GALV. GALVANIZED	MAX. MAXIMUM	SCHED. SCHEDULE		
			CONT. CONTINUOUS	G.C. GENERAL CONTRACTOR	M.E. MATCH EXISTING	SECT. SECTION		
			CONTR. CONTRACTOR	GEN. GENERAL	MED. MEDIUM	S.F. SQUARE FEET (FOOT)		
			COR. CORRIDOR	GL. GLASS	MECH. MECHANICAL	S.EAL. SEALANT		
			DBL. DOUBLE		MFR. MANUFACTURER	S.M. SHEET METAL		
			DET. DETAIL		MTL. METAL	STOR. STORAGE		

4 DRAFTING SYMBOLS

SCALE: NTS

5 LIST OF ABBREVIATIONS

SCALE: NTS

DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
 IL # 184-000350

DATE: 7/1/2013

SHEET NO.
G-1

JOB NO. #13-1641.01

- (A) EXISTING ORIGINAL DOOR TO BE REMOVED FROM OPENING AND STORED AS REQUIRED FOR FUTURE USE AND REINSTALLATION. COORDINATE STORAGE PLACEMENT WITH OWNER.
- (B) REMOVE PORTION OF WALL AS REQUIRED TO RESTORE ORIGINAL DOOR OPENING. REMOVE EXISTING WOOD TRIM AND WOOD WAINSCOTING AS APPLICABLE AND STORE FOR FUTURE REINSTALLATION.
- (C) PROVIDE OPENING IN FLOOR TO ACCOMMODATE FUTURE NEW MECHANICAL FLOOR GRILLE. COORDINATE CONSTRUCTION OF OPENING WITH STRUCTURAL AND MECHANICAL REFERENCE DRAWINGS.
- (D) EXISTING WOOD RAILING TO BE REMOVED.
- (E) EXISTING OPENING WOOD ARCHITECTURAL TRIM TO BE REMOVED AND STORED FOR FUTURE REINSTALLATION. PREP TRIM AS REQUIRED TO RECEIVE PAINT UPON REINSTALLATION.

1 DEMOLITION KEY NOTES

SCALE: NTS

- ① INSTALL ROUGH FRAMING FOR NEW PLUMBING CHASE WALL PARTITION, AS PER NOTED PARTITION TYPE. REFER TO SHEET A-15 FOR ADDITIONAL INFORMATION. NOTE: WALL FINISH MATERIALS TO BE PROVIDED AND INSTALLED AS PART OF FUTURE SCOPE OF WORK.
- ② INSTALL NEW DESIGN / BUILD WOOD FRAMED INTERIOR STAIR AND WOOD HANDRAIL. REFER TO SHEET A-17 FOR ADDITIONAL INFORMATION.
- ③ INSTALL ROUGH FRAMING FOR NEW WALL PARTITION, AS PER NOTED PARTITION TYPE. REFER TO SHEET A-14 FOR ADDITIONAL INFORMATION. NOTE: WALL FINISH MATERIALS TO BE PROVIDED AND INSTALLED AS PART OF FUTURE SCOPE OF WORK.
- ④ INSTALL ROUGH FRAMING FOR NEW PARTIAL HEIGHT WALL PARTITION, AS PER NOTED PARTITION TYPE. REFER TO SHEET A-15 FOR ADDITIONAL INFO. NOTE: WALL FINISH MATERIALS TO BE PROVIDED AND INSTALLED AS PART OF FUTURE SCOPE OF WORK.

2 BASEMENT AND FIRST FLOOR PLAN KEY NOTES

SCALE: NTS

DRAWN: AO

APPROVED: RL

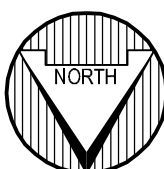
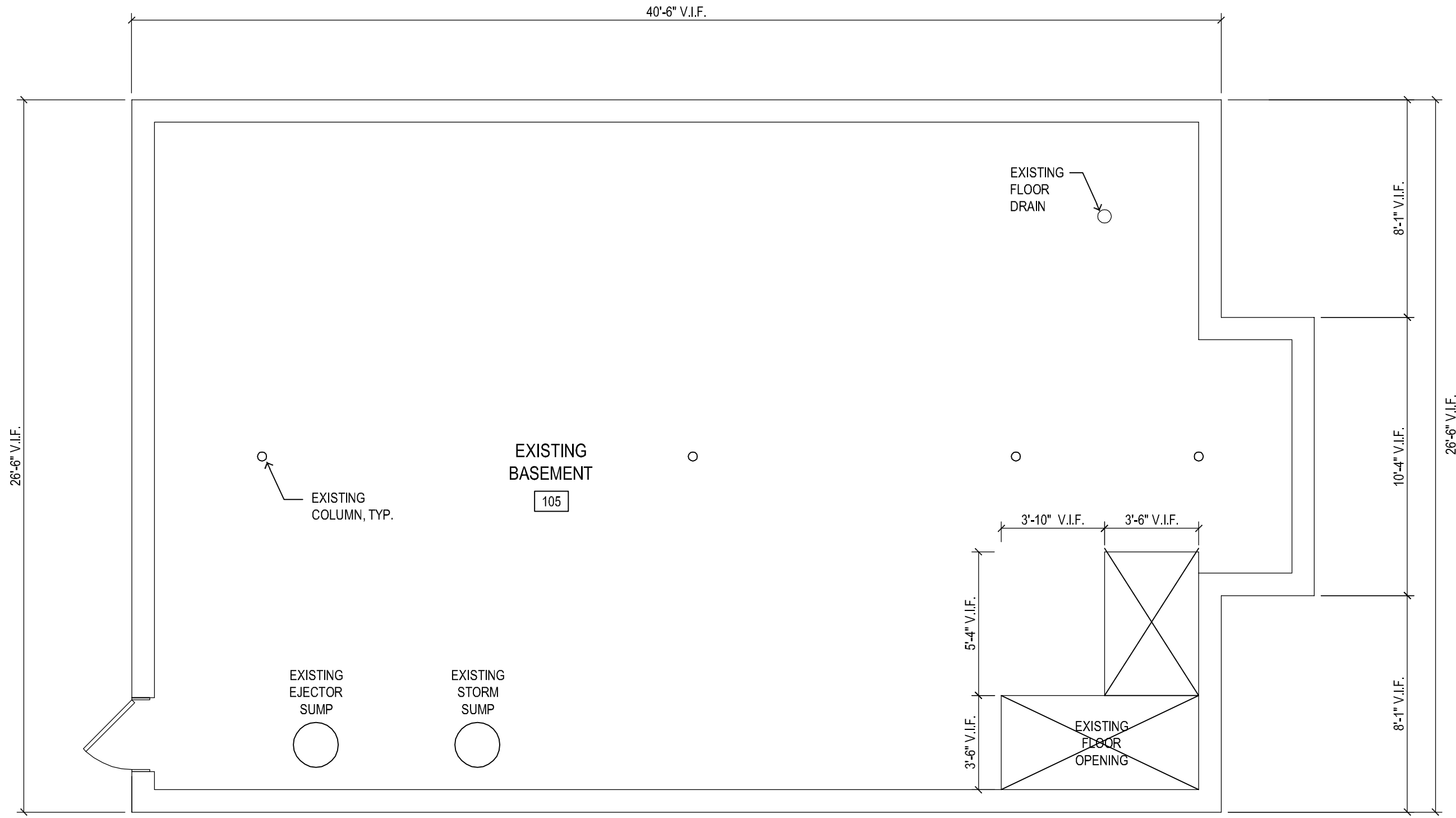
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

A-1

JOB NO. #13-1641.01



MOUNT PROSPECT HISTORICAL SOCIETY
CENTRAL SCHOOLHOUSE RESTORATION
103 S. MAPLE STREET MOUNT PROSPECT, IL 60056

EXISTING BASEMENT DEMOLITION FLOOR PLAN AND
EXISTING CONDITIONS

DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

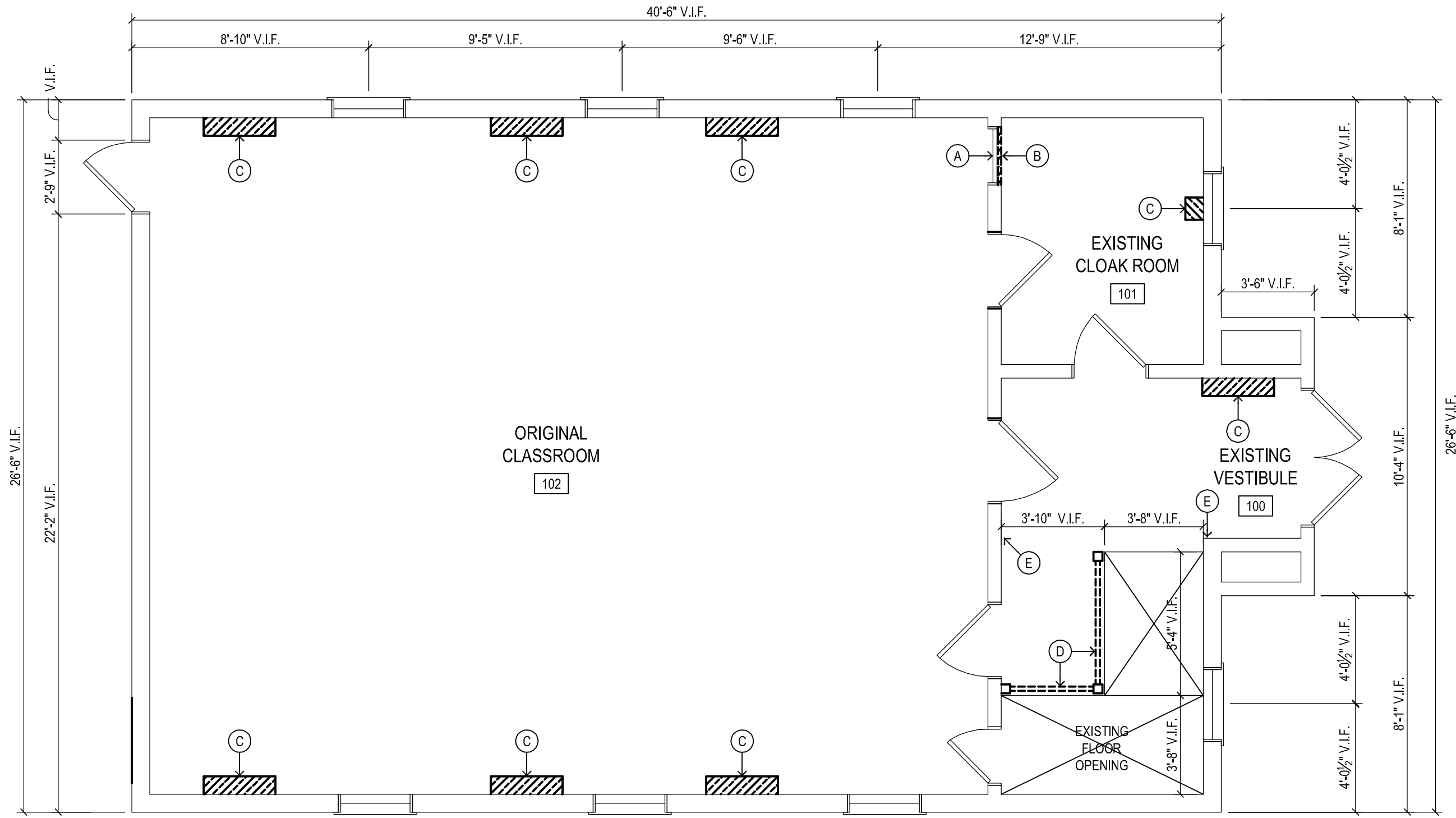
A-2

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

1 EXISTING BASEMENT FLOOR DEMOLITION PLAN / EXISTING CONDITIONS

SCALE: 1/4" = 1'-0"



1 EXISTING FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DRAWN: AO

APPROVED: RL

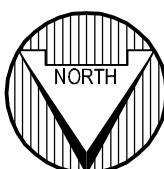
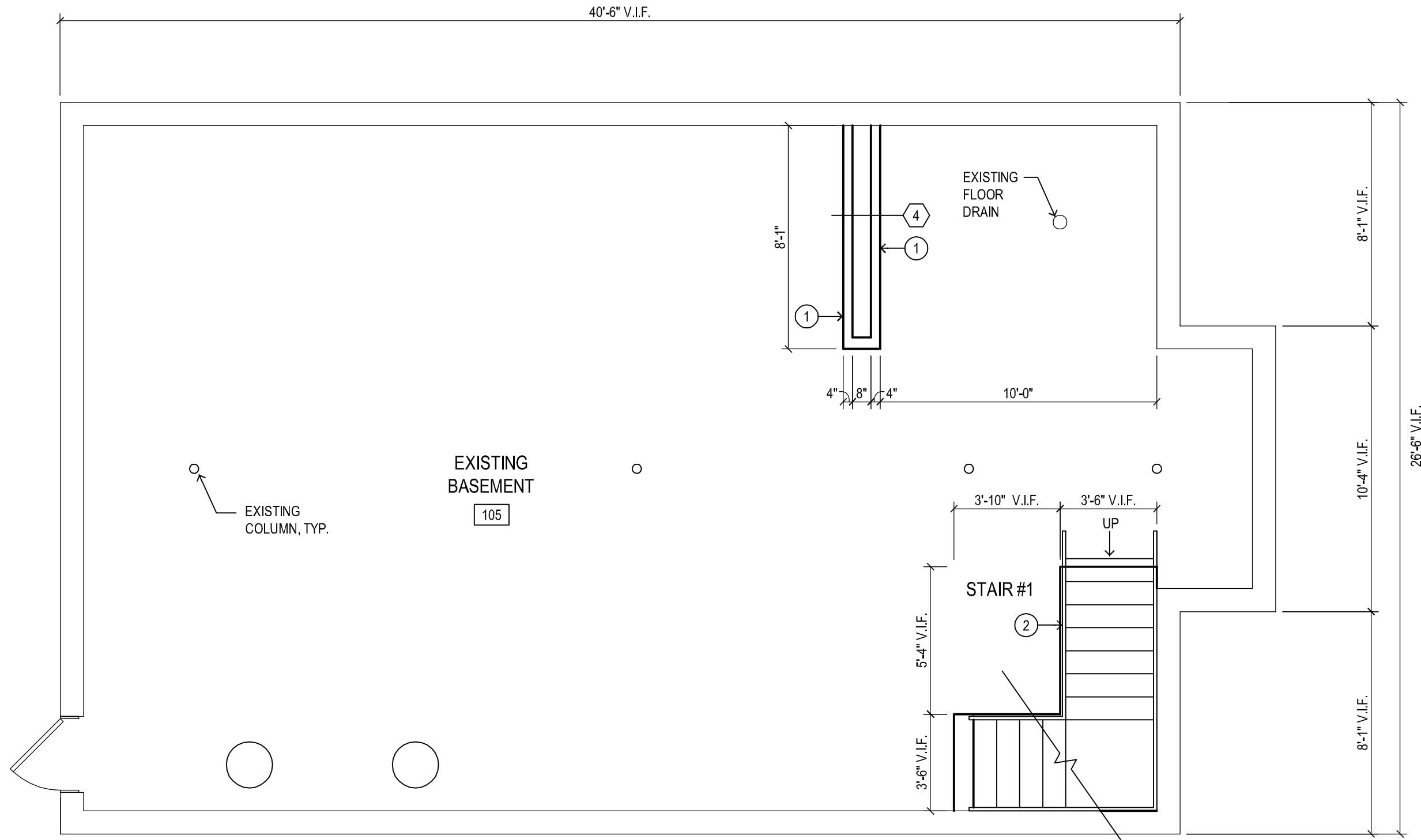
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

A-3

JOB NO. #13-1641.01



DRAWN: AO

APPROVED: RL

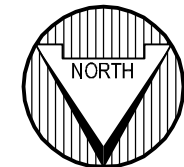
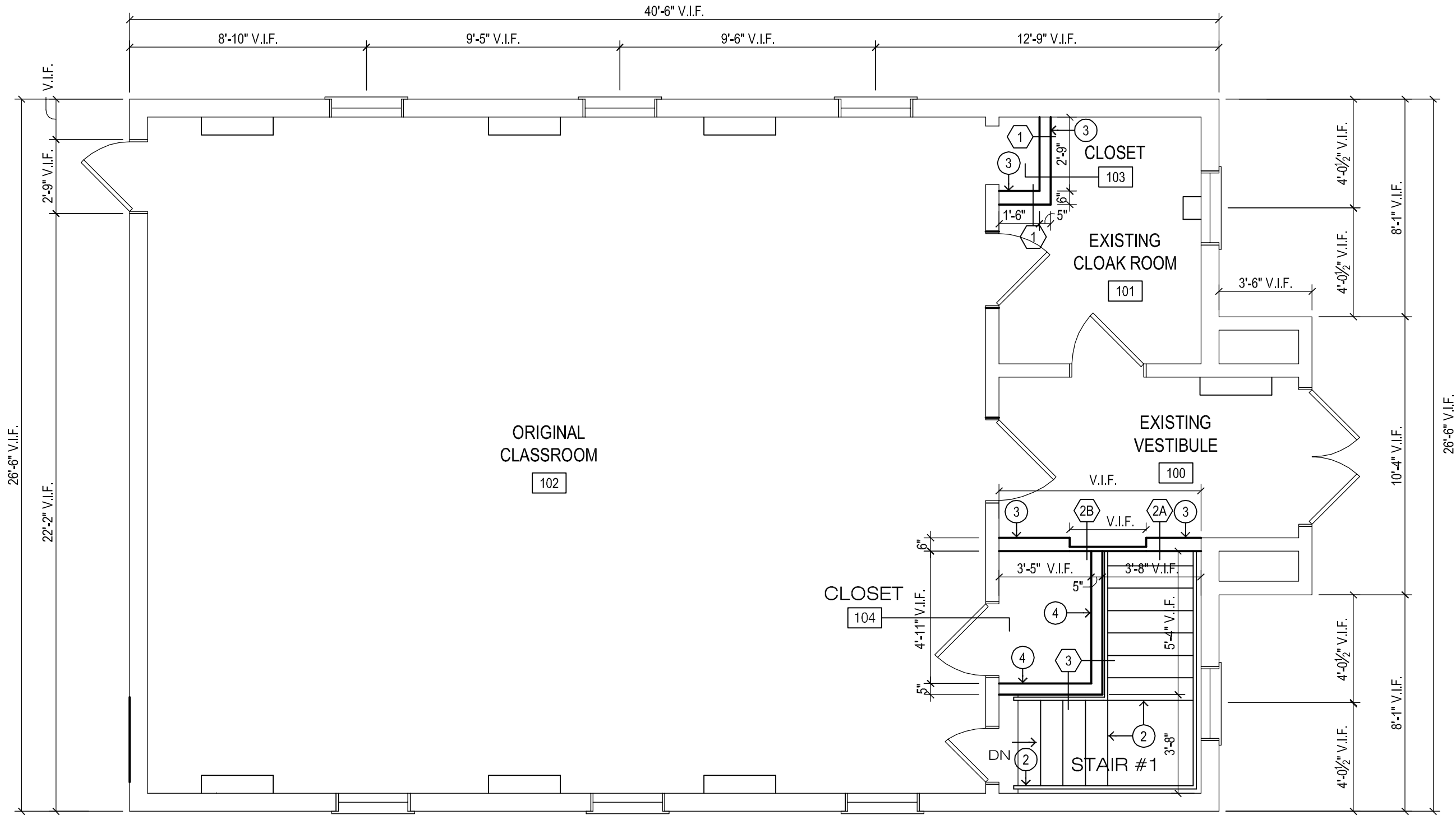
PROFESSIONAL DESIGN FIRM
 IL # 184-000350

DATE: 7/1/2013

SHEET NO.
A-4

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWN: AO

APPROVED: RL

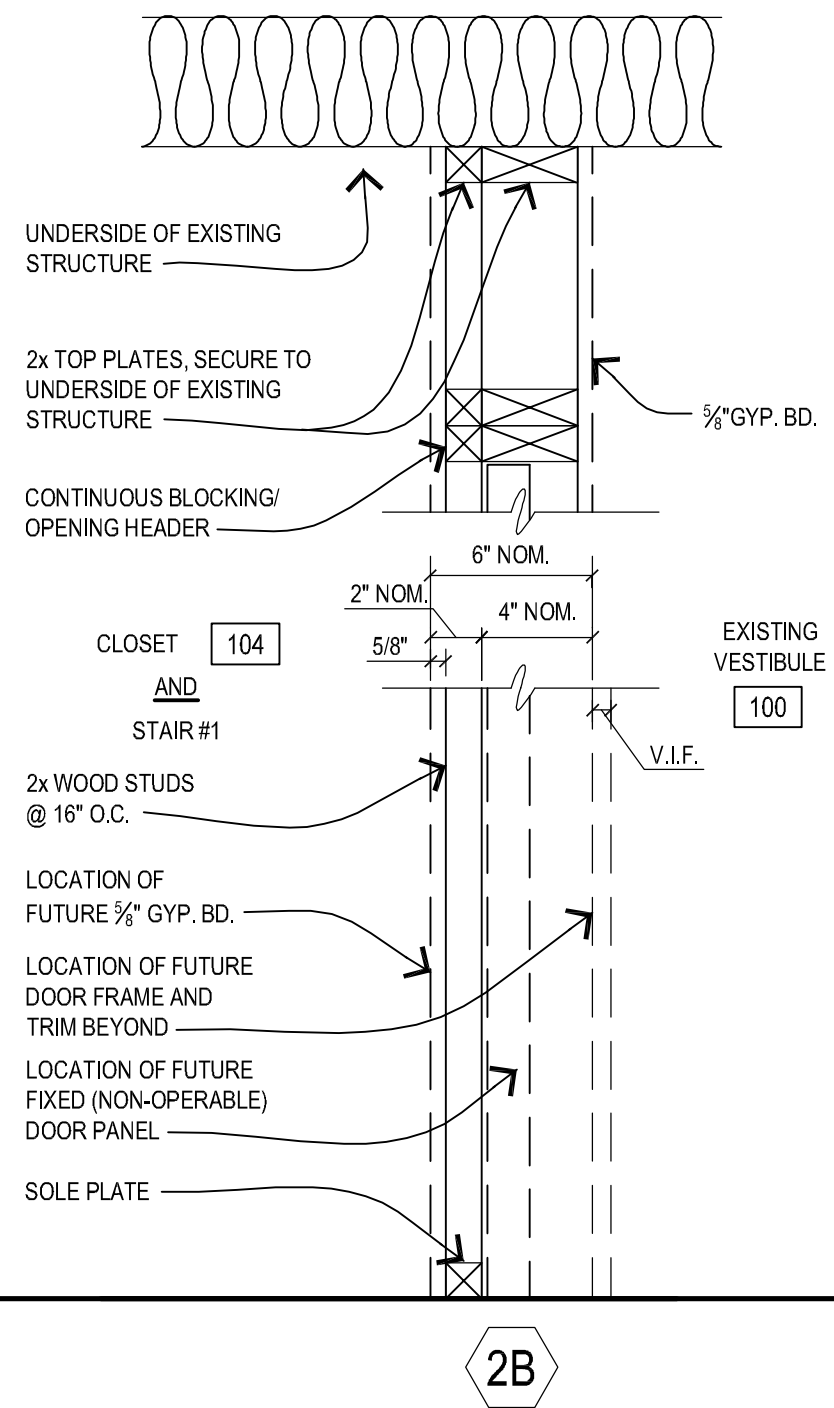
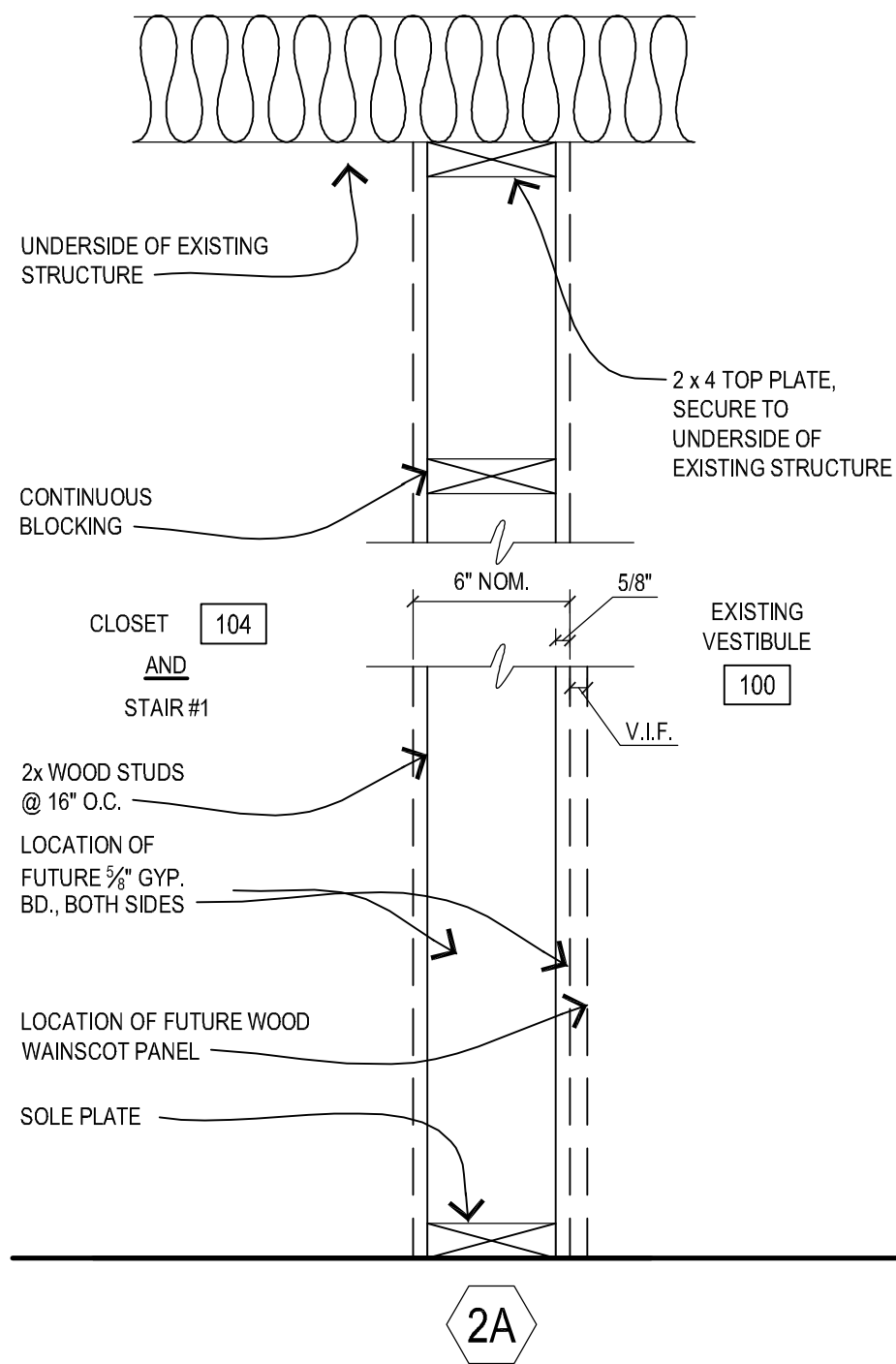
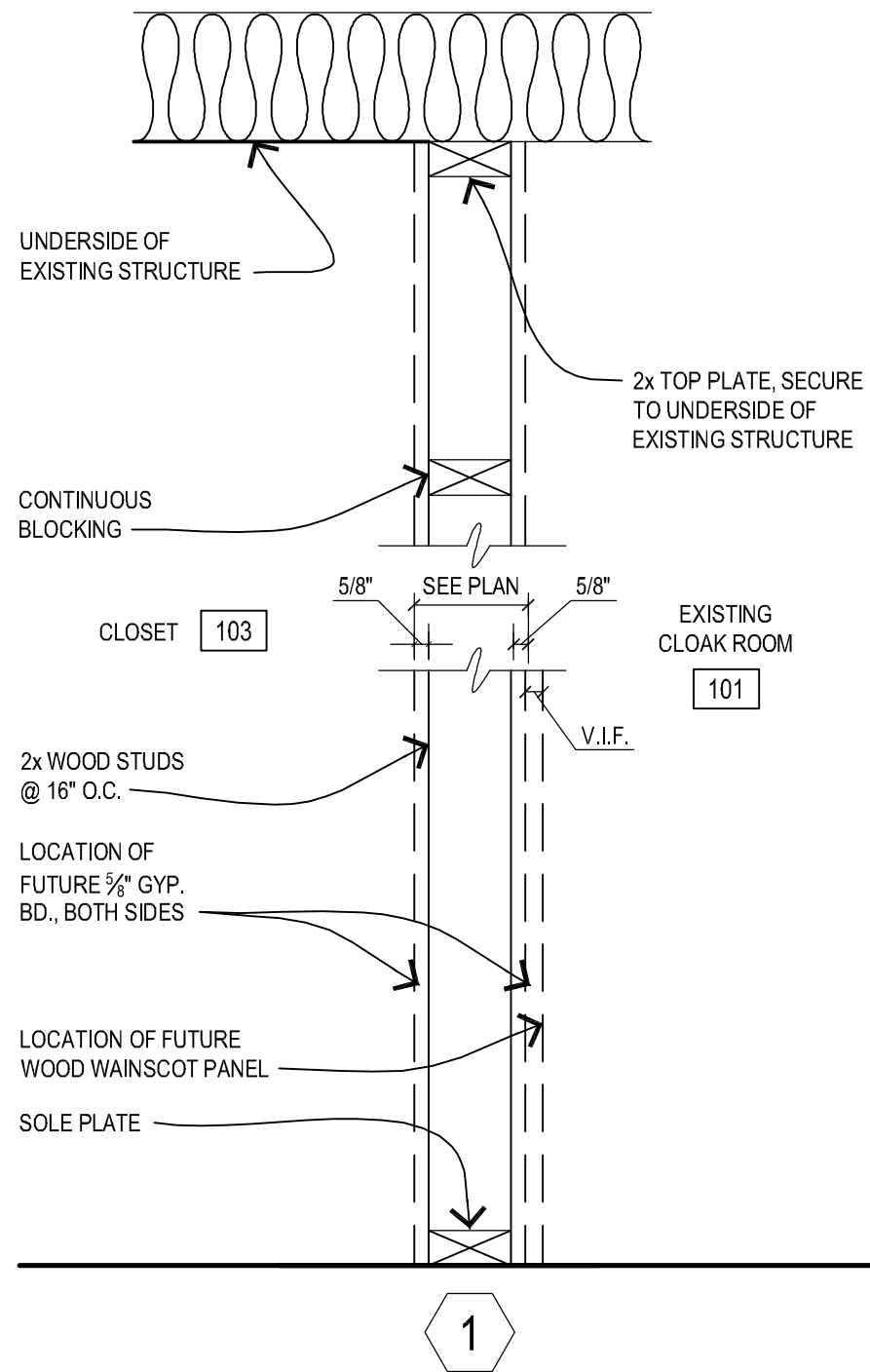
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

A-5

JOB NO. #13-1641.01



DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

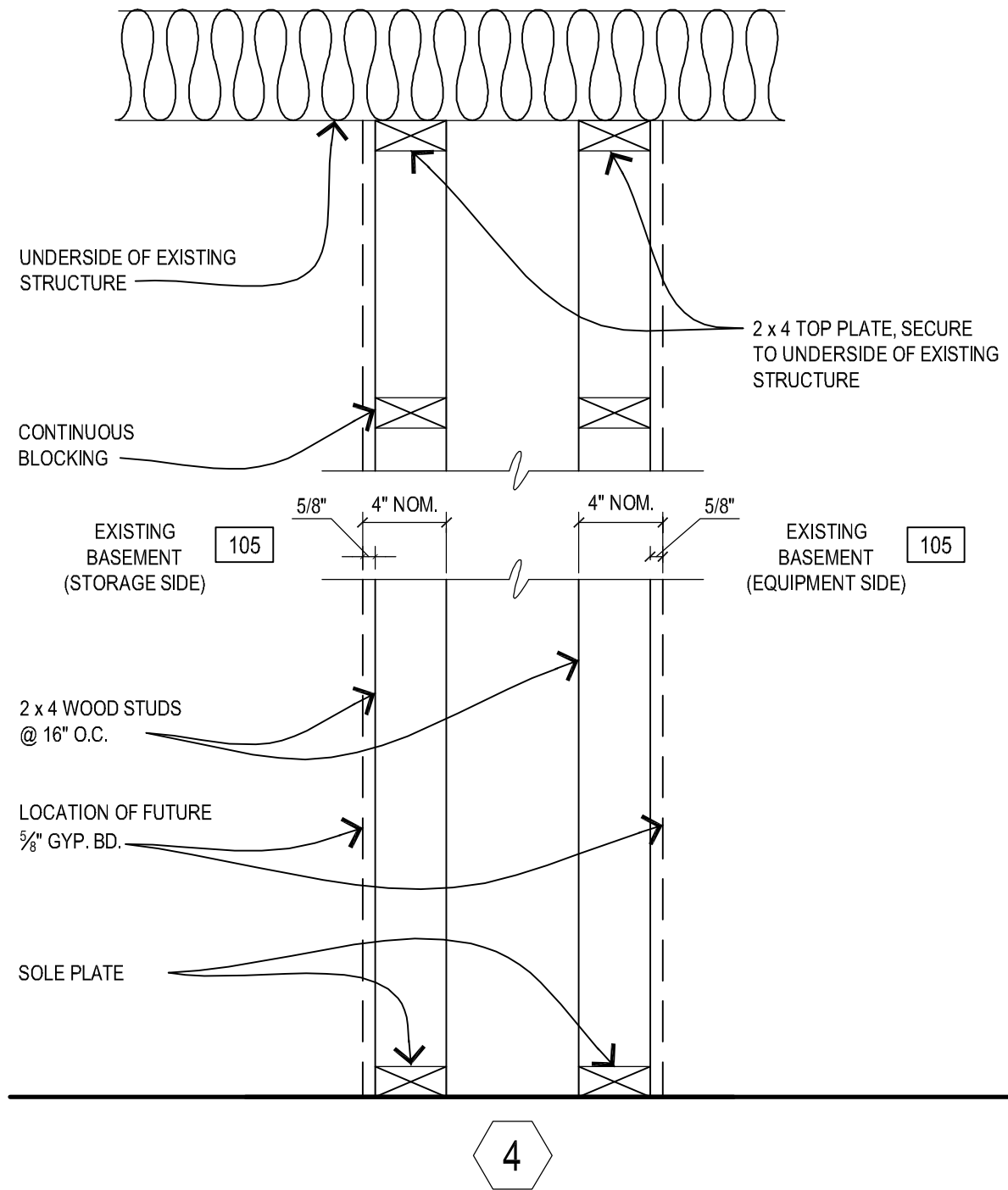
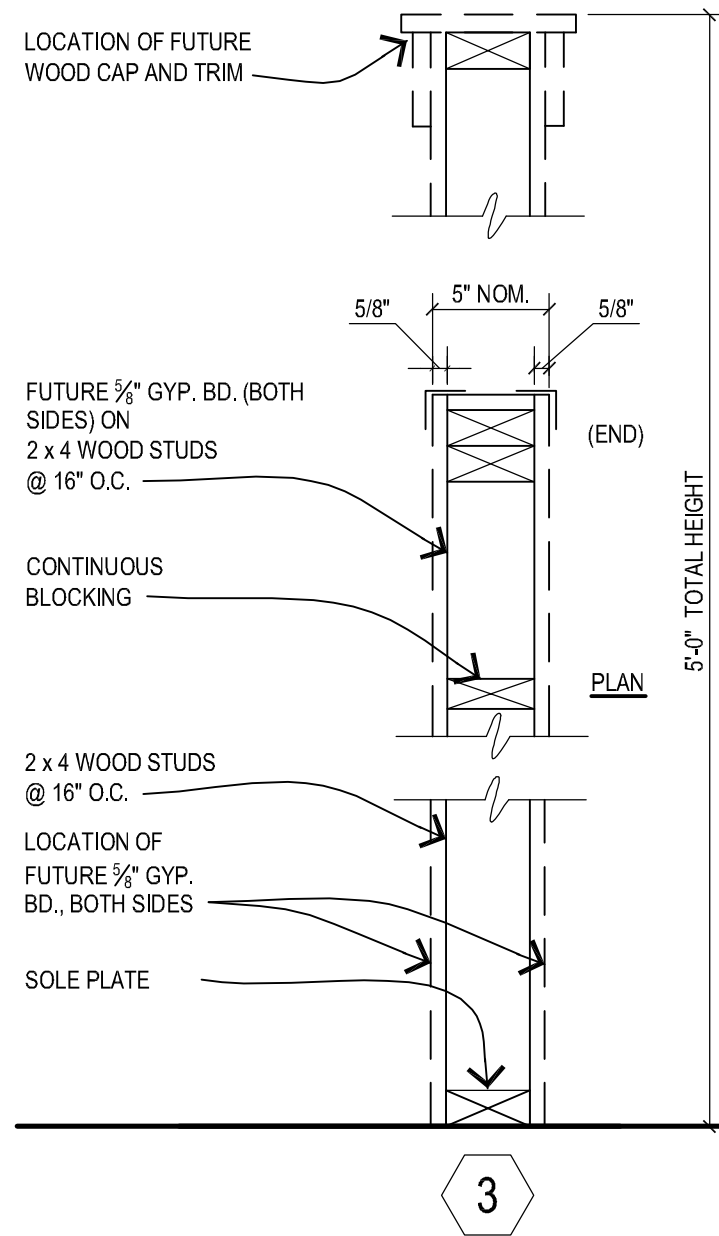
DATE: 7/1/2013

SHEET NO.

A-6

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

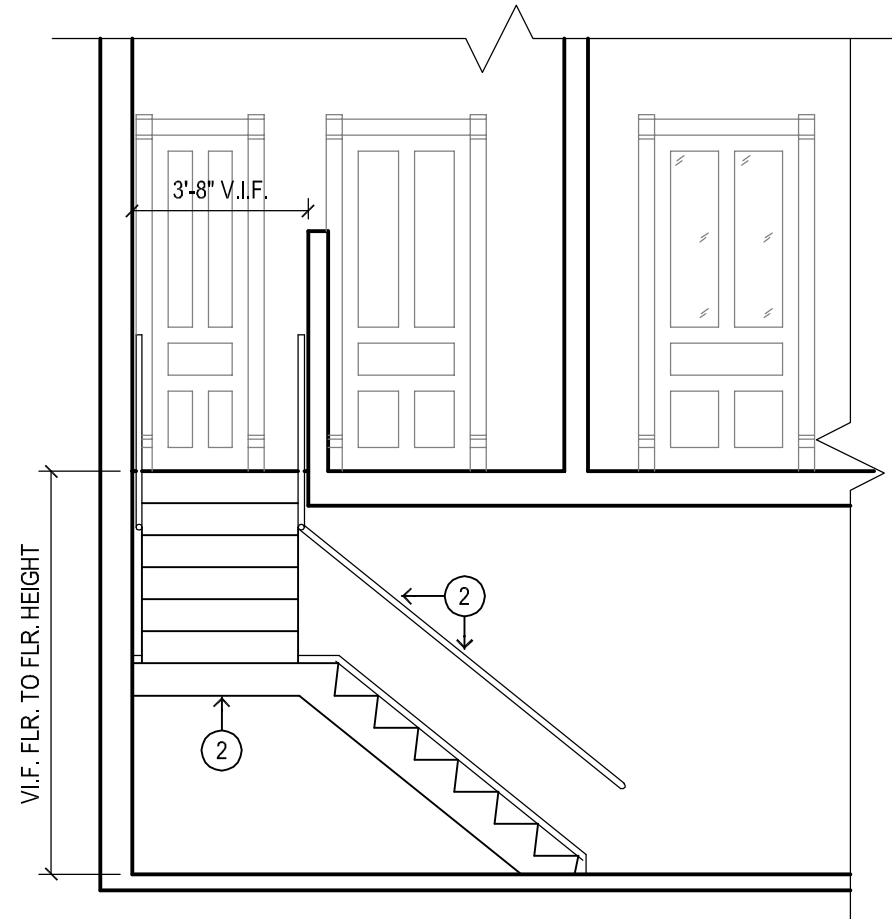
DATE: 7/1/2013

SHEET NO.

A-7

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



NOTE: INTERIOR STAIR IS INTENDED TO BE A DESIGN / BUILD ITEM. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD, ALL FLOOR TO FLOOR CLEARANCES AND OPENING WIDTHS PRIOR TO FABRICATION. STAIR DESIGN IS TO INCLUDE ALL WOOD FRAMING AS REQUIRED, FINISHED WOOD PLANK FLOOR TREADS TO CLOSELY MATCH EXISTING FLOOR FINISH AND IS ALSO TO INCLUDE WOOD HANDRAIL. CONSULT OWNER FOR ADDITIONAL STAIR REQUIREMENTS AND / OR STAIR FINISH.

1 INTERIOR STAIR

SCALE: 1/4" = 1'-0"

DRAWN: AO

APPROVED: RL

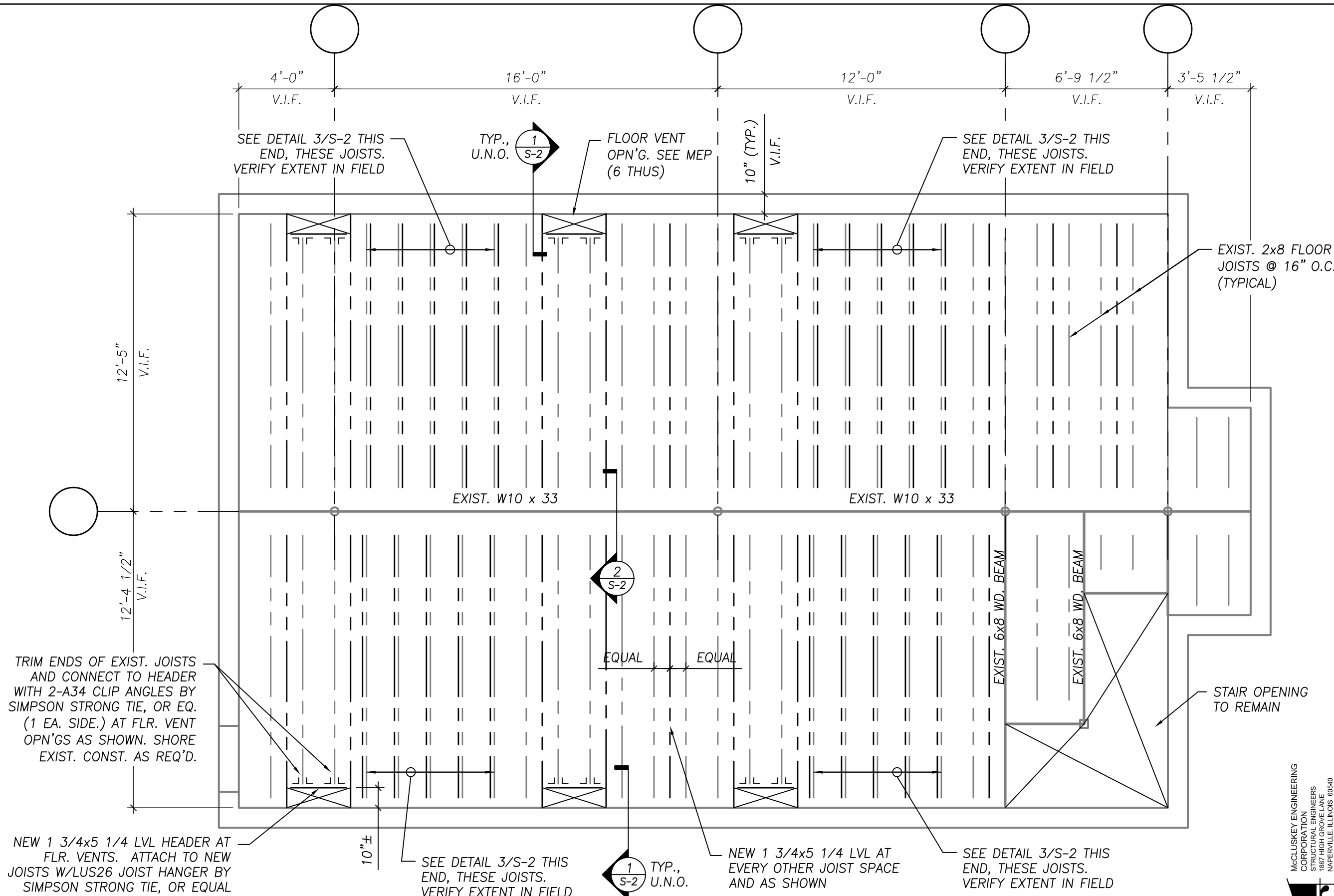
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

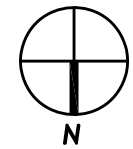
A-8

JOB NO. #13-1641.01

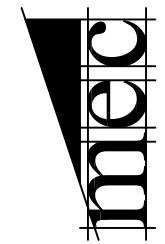


FIRST FLOOR REINFORCING PLAN

SCALE: 1/4" = 1'-0"



McCLUSKEY ENGINEERING CORPORATION
 STRUCTURAL ENGINEERS
 1887 HIGH GROVE LANE
 NAPERVILLE, ILLINOIS 60540
 630-777-5335 ■ FAX: 630-777-5397
 © 2013 MEC JOB #: S10050



MOUNT PROSPECT HISTORICAL SOCIETY
 CENTRAL SCHOOLHOUSE RESTORATION
 103 S. MAPLE STREET MOUNT PROSPECT, IL 60056

FIRST FLOOR REINFORCING PLAN

DRAWN: LM

APPROVED: SM

PROFESSIONAL DESIGN FIRM
IL # 184-000350

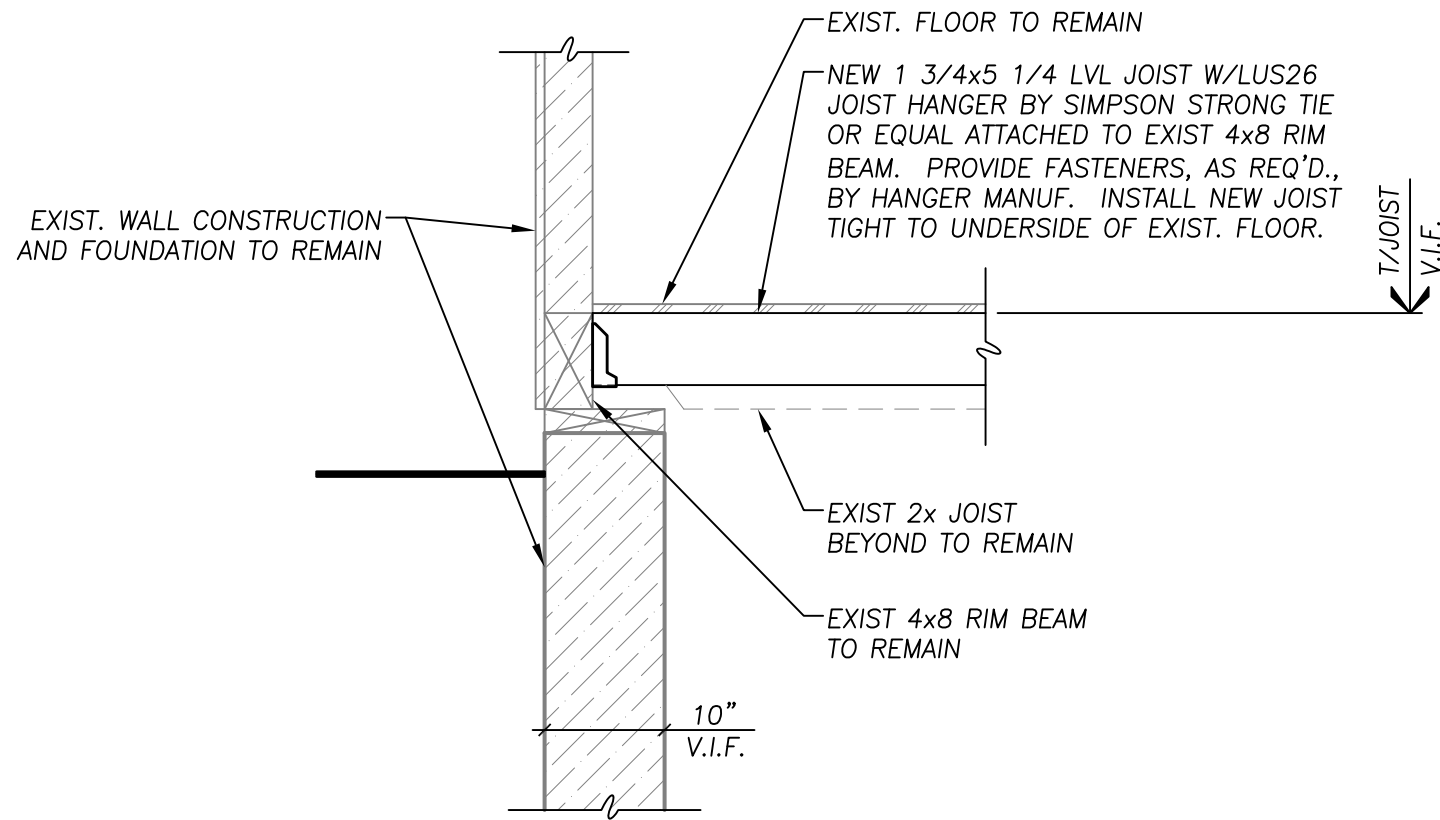
DATE: 7/1/2013

SHEET NO.

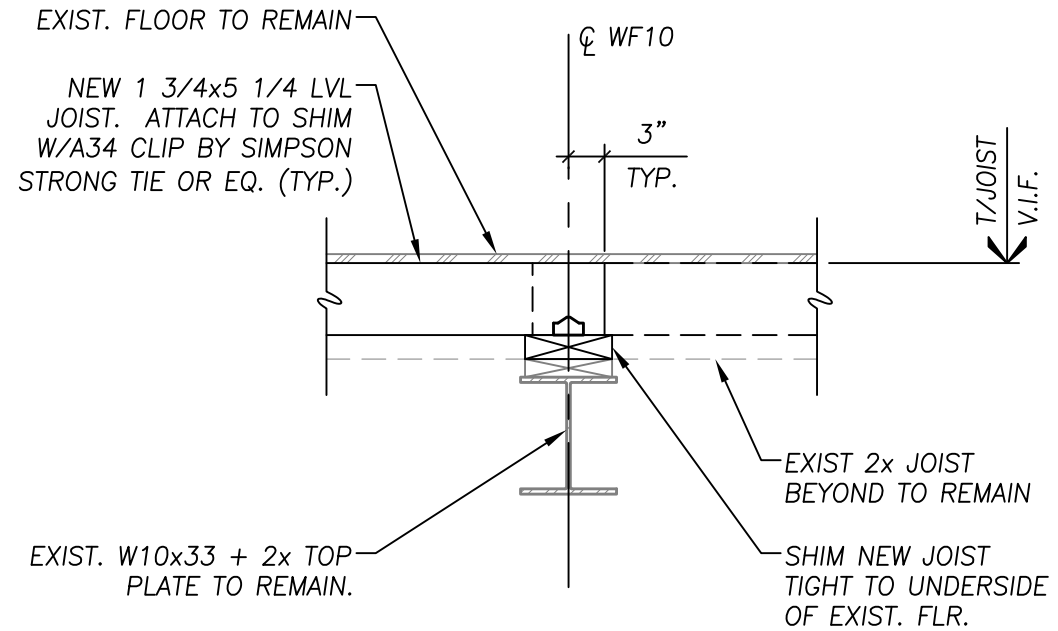
S-1

JOB NO. #13-1641.01

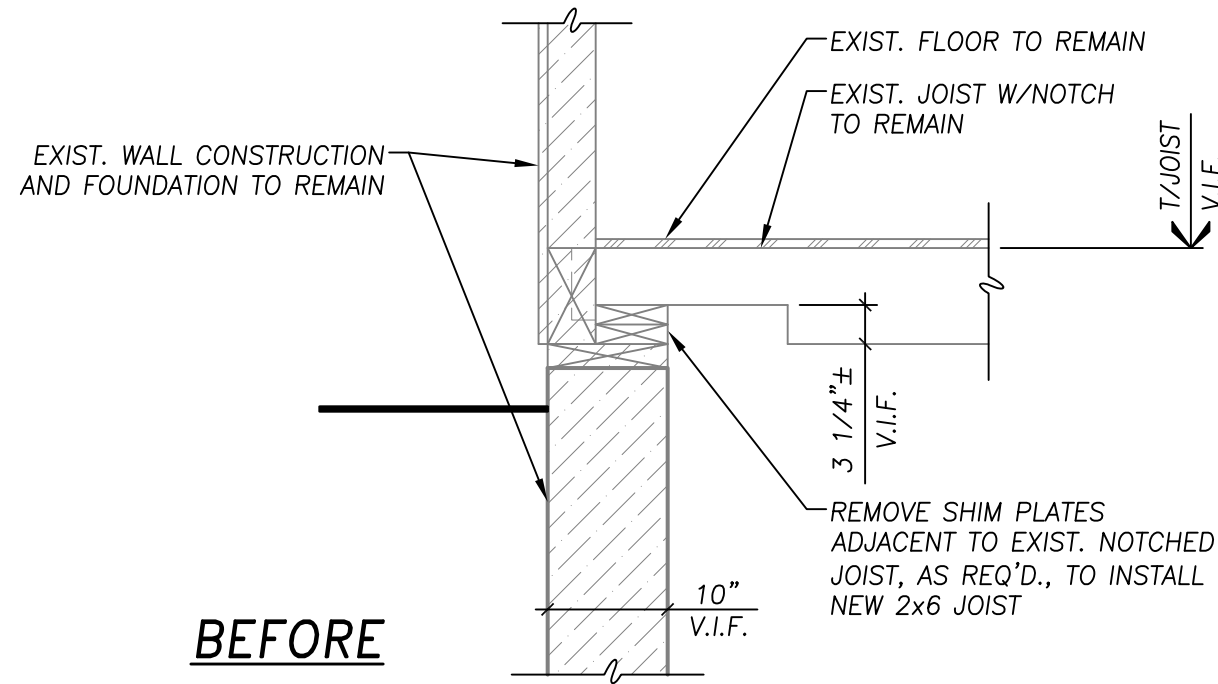
© 2013 FGM ARCHITECTS INC.



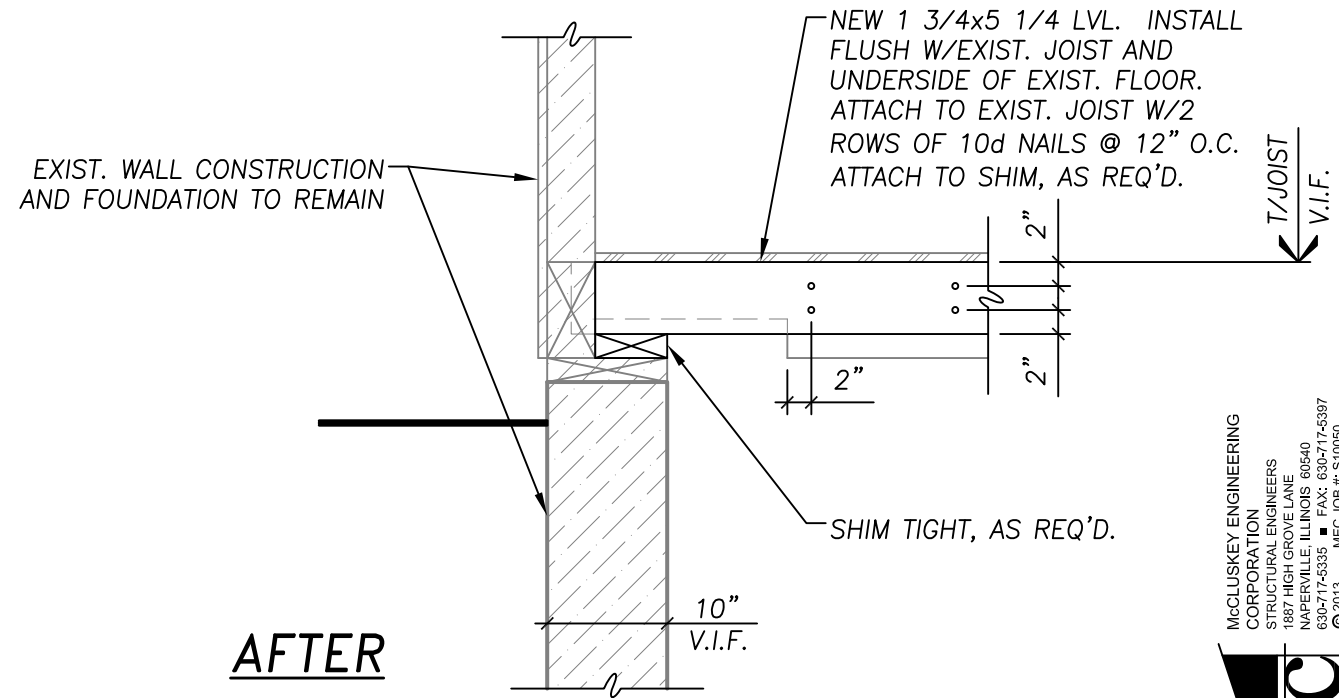
1 SECTION
3/4" = 1'-0"



2 SECTION
3/4" = 1'-0"



BEFORE
3 SECTION
3/4" = 1'-0"



AFTER

McCLUSKEY ENGINEERING CORPORATION
STRUCTURAL ENGINEERS
1887 HIGH GROVE LANE
NAPERVILLE, ILLINOIS 60540
630-777-5335 FAX: 630-777-5387
© 2013 MEC JOB #: S10050



DRAWN: LM

APPROVED: SM

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

S-2

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

GENERAL STRUCTURAL NOTES

DESIGN AND LOADING:

1. STRUCTURAL DESIGN OF THIS BUILDING IS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2012 EDITION WITH VILLAGE AMMENDMENTS.
4. FLOOR LIVE LOADS:
 - A. ASSEMBLY - 100 PSF

WOOD:

1. COMPLY WITH THE FOLLOWING PUBLISHED STANDARDS:

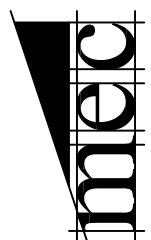
LAMINATED VENEER LUMBER:
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
2. SILLS OR PLATES BEARING ON CONCRETE SHALL BE PRESSURE TREATED.
3. COMMON NAILS SHALL BE USED.
4. MINIMUM NAILED CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE GIVEN IN TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE, 2006 EDITION, IF NO OTHER CRITERIA IS GIVEN.
5. ALL JOIST HANGERS AND FRAMING CONNECTORS SHOWN ARE TO BE MANUFACTURED BY SIMPSON STRONG TIE. ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY ENGINEER OR ARCHITECT OF RECORD.
6. LAMINATED VENEER LUMBER SHALL BE MICROLAM, AS MANUFACTURED BY iLEVEL, OR EQUIVALENT AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

MODULUOUS OF ELASTICITY $E = 1900$ KSI
FLEXURAL STRESS $F_b = 2600$ PSI

MISCELLANEOUS:

1. ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED AGAINST ARCHITECTURAL DRAWINGS BY THE CONSTRUCTION MANAGER. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
2. THE CONSTRUCTION MANAGER SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. AS PART OF HIS RESPONSIBILITY, THE CONSTRUCTION MANAGER SHALL RETAIN THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN AND SUPERVISE ANY SCAFFOLDING FOR WORKMEN AND ALL SHORING OF FORMS AND ELEMENTS OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.
4. ALL EXISTING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION. McCLUSKEY ENGINEERING CORPORATION SHALL NOT BE RESPONSIBLE FOR ANY EXISTING INFORMATION SUPPLIED BY THE OWNER/ARCHITECT NOR BE LIABLE FOR THOSE EXISTING CONDITIONS THAT VARY FROM THAT INFORMATION. ADDITIONALLY, DESIGN WORK RESULTING THE VARIATION OF EXISTING CONDITIONS WILL BE PERFORMED AS AN ADDITIONAL SERVICE.

McCLUSKEY ENGINEERING CORPORATION
STRUCTURAL ENGINEERS
1887 HIGH GROVE LANE
NAPERVILLE, ILLINOIS 60540
630-717-5335 ■ FAX: 630-717-5387
© 2013 MEC JOB #: S10050



FGM ARCHITECTS
CHICAGO OAK BROOK OF FALLO

MOUNT PROSPECT HISTORICAL SOCIETY
CENTRAL SCHOOLHOUSE RESTORATION
103 S. MAPLE STREET MOUNT PROSPECT, IL 60056

GENERAL STRUCTURAL NOTES

DRAWN: LM

APPROVED: SM

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

S-3

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

APPENDIX B

REFERENCE

- (AR) EXISTING WINDOW TO BE REMOVED. PREP WINDOW OPENING AS REQUIRED TO ACCOMMODATE NEW WINDOW INSTALLATION.
- (BR) EXISTING DOOR TO BE REMOVED. PREP DOOR OPENING AS REQUIRED TO ACCOMMODATE NEW DOOR INSTALLATION.
- (CR) PREP EXISTING WOOD FLOORING AS REQUIRED TO ACCOMMODATE FUTURE REFINISHING.
- (DR) SAWCUT EXISTING CONCRETE FLOOR AS REQUIRED TO ACCOMMODATE NEW PLUMBING WORK. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

1 FUTURE DEMOLITION REFERENCE KEY NOTES

SCALE: NTS

- (1R) INSTALL WALL FINISH MATERIALS ON PLUMBING CHASE WALL. PROVIDE 5/8" MOISTURE RESISTANT GYP. BD. ON WET WALL SIDE AND STANDARD GYP. BD. ON OPPOSITE SIDE. WALL FINISH TO BE PAINTED IN COLOR AS SELECTED BY OWNER. REFER TO PARTITION TYPES, SHEET A-15 FOR ADDITIONAL INFORMATION.
- (2R) PREP EXISTING DOOR AS REQUIRED TO RESTORE FULL OPERATIONAL FUNCTIONALITY.
- (3R) PREP WOOD STAIR AND HANDRAIL ASSEMBLY TO RECEIVE NEW PAINT FINISH. FINISH COLOR TO BE SELECTED BY OWNER.
- (4R) INSTALL NEW DESIGN/BUILD PLEXIGLAS OR GLASS ENCLOSURE OVER EXISTING EXPOSED WALL. COORDINATE DISPLAY ENCLOSURE DIMENSIONS, LOCATION AND OTHER PERTINENT DETAILS AND REQUIREMENTS WITH OWNER PRIOR TO FINAL DESIGN OR FABRICATION.
- (5R) INSTALL NEW MOP SINK. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- (6R) INSTALL NEW FLOOR CLEANOUT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- (7R) PATCH, FILL AND RESTORE CONCRETE FLOOR AS REQUIRED UPON COMPLETION OF PLUMBING WORK AND ACCESS OF UNDERGROUND UTILITIES.
- (8R) PROVIDE NEW BATT INSULATION TO BE INSTALLED WITHIN EXISTING EXTERIOR WALL PARTITION. PROVIDE VAPOR BARRIER TO BE INSTALLED OVER EXISTING STUD WALLS ONCE NEW WALL INSULATION IS IN PLACE. REFER TO SHEET A-17 AND SPECIFICATIONS FOR DETAILED INFORMATION.
- (9R) PROVIDE NEW LAYER OF GYP. BD. WALL FINISH OVER EXISTING WALL. PROVIDE NEW WOOD WAINSCOT PANEL, WOOD WALL BASE, AND WOOD CHAIR RAIL. SIZE, STYLE AND DIMENSIONS OF WOOD COMPONENTS TO MATCH EXISTING. PREP WOOD SURFACES AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER. PROVIDE FINISH COAT OF PLASTER OVER GYP. BD. WALL IN AREA ABOVE WAINSCOT. PLASTER FINISH TO MATCH EXISTING WALL FINISH OR AS SELECTED BY OWNER. REFER TO INTERIOR ELEVATIONS, SHEET A-13 FOR ADDITIONAL INFO.
- (10R) INSTALL NEW CLOSED CELL SPRAY INSULATION WITHIN EXISTING WALL CAVITY. PATCH AND REPAIR WALL FINISH AS REQUIRED. REFER TO SPECIFICATIONS FOR DETAILED INFO.
- (11R) INSTALL WALL FINISH MATERIALS ON WALL PARTITION, AS PER NOTED PARTITION TYPE. PROVIDE WOOD WAINSCOT PANEL, WOOD WALL BASE AND WOOD TOP RAIL IN SIZE, STYLE AND DIMENSIONS TO MATCH EXISTING ADJACENT WALLS, V.I.F. PREP WOOD SURFACES AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER. PROVIDE FINISH COAT OF PLASTER OVER GYP. BD WALL IN AREA ABOVE WAINSCOT. PLASTER FINISH TO MATCH EXISTING WALL FINISH, OR AS SELECTED BY OWNER. REFER TO PARTITION TYPES, SHEET A-14 FOR ADDITIONAL INFORMATION.
- (12R) INSTALL WALL FINISH MATERIALS ON PARTIAL HEIGHT WALL PARTITION, AS PER NOTED PARTITION TYPE. WALL FINISH TO BE PAINTED IN COLOR AS SELECTED BY OWNER. REFER TO SHEET A-15 FOR ADDITIONAL INFO.
- (13R) PATCH AND REPAIR EXISTING PLASTER WALL FINISH AS REQUIRED. FINISH COLOR TO MATCH EXISTING, OR AS SELECTED BY OWNER.
- (14R) PREP EXISTING WOOD WAINSCOT PANEL, WOOD WALL BASE AND WOOD TOP RAIL AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.
- (15R) PREP EXISTING WOOD DOOR AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.
- (16R) REINSTALL EXISTING WOOD DOOR. PREP DOOR AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.
- (17R) REINSTALL EXISTING WOOD DOOR ARCHITECTURAL TRIM. PREP TRIM AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.

2 FUTURE BASEMENT AND FIRST FLOOR PLAN REFERENCE KEYNOTES

SCALE: NTS

- (18R) INSTALL NEW SOLID WOOD PANEL DOOR (DOOR #2). DOOR SIZE, STYLE, DIMENSIONS, DESIGN AND HARDWARE TO MATCH ADJACENT INTERIOR EXISTING VESTIBULE DOOR, V.I.F. EXISTING FIXED TRANSOM ABOVE OPENING TO REMAIN. PREP NEW DOOR AND TRANSOM AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.
- (19R) INSTALL NEW PAIR OF ENTRY DOORS (DOOR #1). DOOR SIZE AND DIMENSIONS TO MATCH EXISTING DOORS AND OPENING, V.I.F.. DOOR STYLE/PROFILE TO MATCH EXISTING REAR ENTRY DOOR. CONTRACTOR TO CONSULT WITH OWNER FOR DOOR HARDWARE REQUIREMENTS AND FOR ADDITIONAL INFO.
- (20R) REINSTALL EXISTING OPENING WOOD ARCHITECTURAL TRIM OR PROVIDE AND INSTALL NEW WOOD DOOR ARCHITECTURAL TRIM, AS REQUIRED. NEW TRIM SIZE, STYLE/PROFILE, DIMENSIONS AND DESIGN TO MATCH EXISTING, V.I.F. PREP ALL TRIM AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.
- (21R) INSTALL NEW FIXED, NON-OPERABLE SOLID WOOD DOOR. DOOR SIZE, STYLE/PROFILE, DIMENSIONS DESIGN, AND FAUX FIXED HARDWARE TO MATCH NEW AND EXISTING DOORS WITHIN COMMON INTERIOR VESTIBULE AREA. PROVIDE NEW FIXED TRANSOM ABOVE DOOR, COMPLETE WITH GLASS AND FRAME. TRANSOM SIZE, STYLE/PROFILE, DIMENSIONS AND DESIGN TO MATCH EXISTING TRANSOM ON OPPOSITE WALL OF EXISTING VESTIBULE AREA. PREP NEW DOOR AND TRANSOM AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO BE SELECTED BY OWNER.
- (22R) INSTALL NEW DOUBLE HUNG OPERABLE WINDOW, SIZED TO FIT IN EXISTING ORIGINAL OPENING. VERIFY ALL WINDOW DIMENSIONS IN FIELD. PROVIDE FLASHING, CAULK AND SEALANT AS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- (23R) PREP EXISTING WOOD FLOOR AS REQUIRED TO ACCOMMODATE REFINISHING. PATCH ALL EXISTING FLOOR OPENINGS AS REQUIRED. NEW REPLACEMENT FLOOR PLANKS TO MATCH SIZE, SPECIES AND DIMENSIONS OF EXISTING FLOORING, V.I.F. REFINISH EXISTING WOOD FLOOR (SAND, STAIN, VARNISH, ETC.). FINISH STAIN COLOR TO BE SELECTED BY OWNER.
- (24R) INSTALL NEW MECHANICAL FLOOR GRILLES. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

3 FUTURE BASEMENT & FIRST FLOOR PLAN REFERENCE KEYNOTES, CTD.

SCALE: NTS

- (25R) INSTALL NEW PENDANT TYPE LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- (26R) INSTALL NEW BASEMENT SURFACE MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- (27R) PROVIDE NEW BATT INSULATION TO BE INSTALLED BETWEEN EXISTING CEILING JOISTS. PROVIDE VAPOR BARRIER TO BE INSTALLED ON INTERIOR FACE OF EXISTING JOISTS. REFER TO SHEET A-16 AND SPECIFICATIONS FOR DETAILED INFORMATION.
- (28R) INSTALL NEW GYPSUM BOARD CEILING SYSTEM DIRECTLY TO UNDERSIDE OF EXISTING CEILING JOISTS. PROVIDE COAT OF PLASTER AS FINAL CEILING FINISH. FINISH COLOR TO MATCH EXISTING PLASTER CEILING, OR AS SELECTED BY OWNER.
- (29R) PATCH AND REPAIR EXISTING PLASTER CEILING FINISH AS REQUIRED. FINISH COLOR TO MATCH EXISTING, OR AS SELECTED BY OWNER.
- (30R) EXISTING EXPOSED CEILING TO REMAIN.

4 FUTURE REFLECTED CEILING PLAN REFERENCE KEY NOTES

SCALE: NTS

- (31R) REPAIR AND REPLACE EXISTING WOOD BASE TRIM AS REQUIRED THROUGHOUT BUILDING EXTERIOR. PREP REPLACEMENT TRIM AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO MATCH EXISTING, OR AS SELECTED BY OWNER.
- (32R) PATCH, REPLACE AND REPAIR EXISTING WOOD SIDING AS REQUIRED THROUGHOUT BUILDING EXTERIOR. SIZE, SPACING AND DIMENSIONS OF REPLACEMENT SIDING TO MATCH EXISTING, V.I.F.. PREP REPLACEMENT SIDING AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO MATCH EXISTING, OR AS SELECTED BY OWNER.
- (33R) PREP EXISTING WOOD SIDING, TRIM AND ADDITIONAL ORNAMENTATION AS REQUIRED TO RECEIVE PAINT. FINISH COLOR TO MATCH EXISTING BUILDING COLOR, OR AS SELECTED BY OWNER.
- (34R) PROVIDE CAULK AND SEALANT TO EXISTING OPENINGS, PENETRATIONS, AND ADDITIONAL AREAS AS REQUIRED THROUGHOUT BUILDING.
- (35R) INSTALL NEW WINDOW, SIZED TO FIT IN EXISTING ORIGINAL OPENING. VERIFY ALL WINDOW DIMENSIONS IN FIELD. PROVIDE FLASHING, CAULK AND SEALANT AS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

5 FUTURE EXTERIOR ELEVATION REFERENCE KEY NOTES

SCALE: NTS

DRAWN: AO

APPROVED: RL

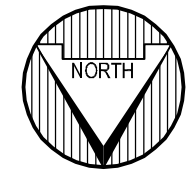
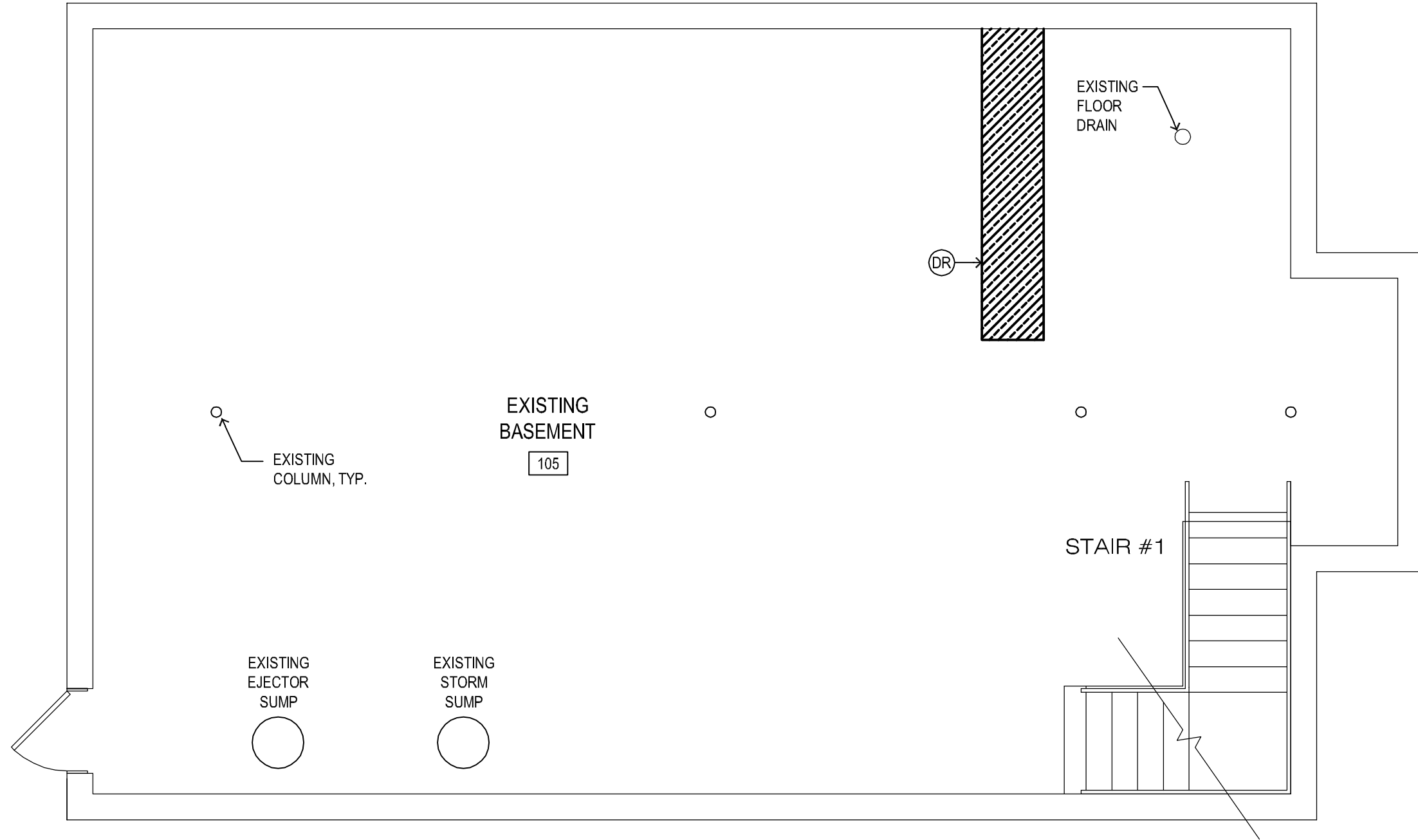
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

AR-1

JOB NO. #13-1641.01



DRAWN: AO

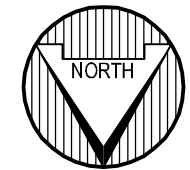
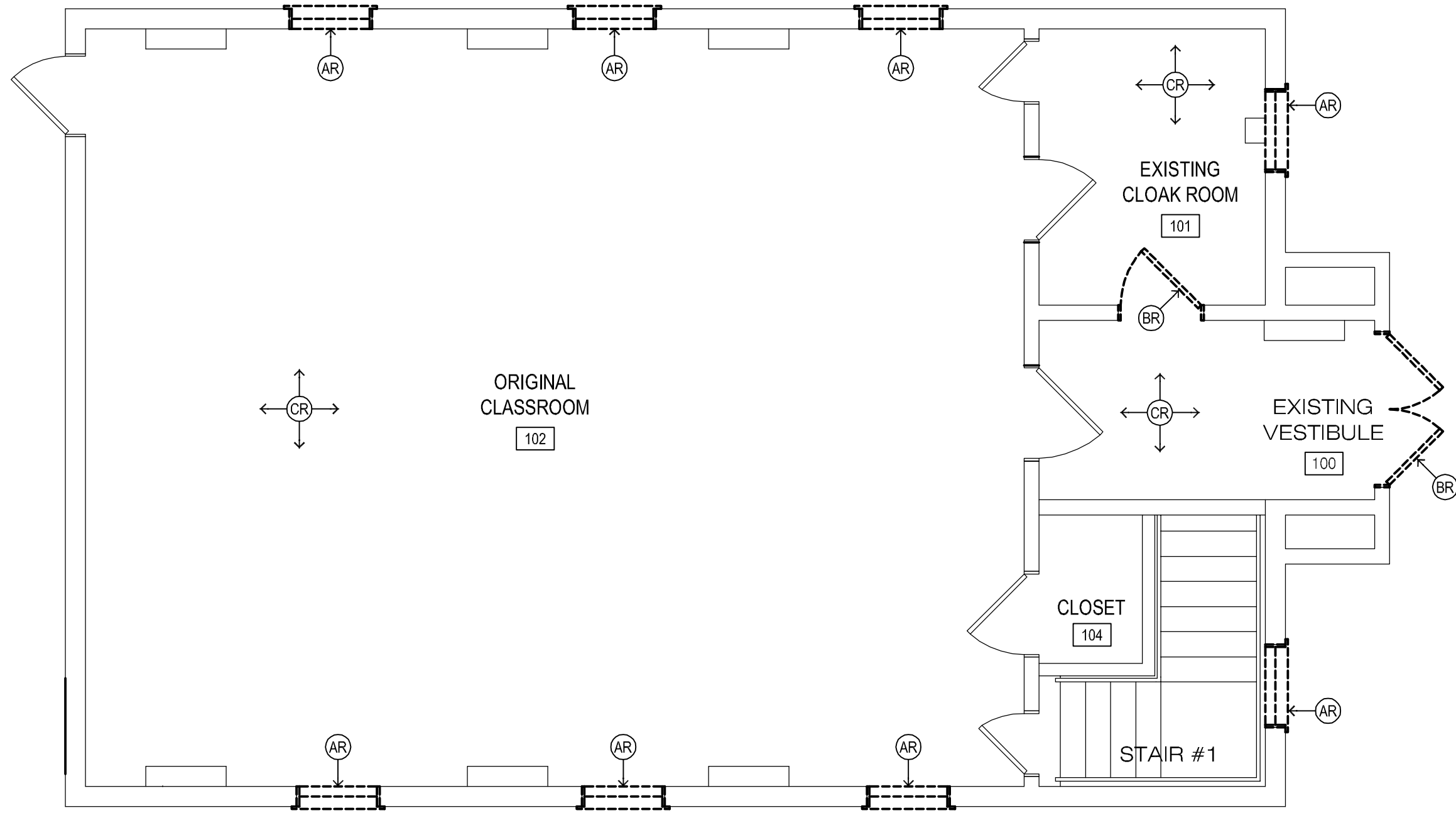
APPROVED: RL

PROFESSIONAL DESIGN FIRM
 IL # 184-000350

DATE: 7/1/2013

SHEET NO.
AR-2

JOB NO. #13-1641.01



DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
 IL # 184-000350

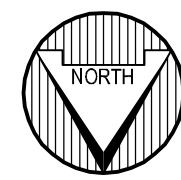
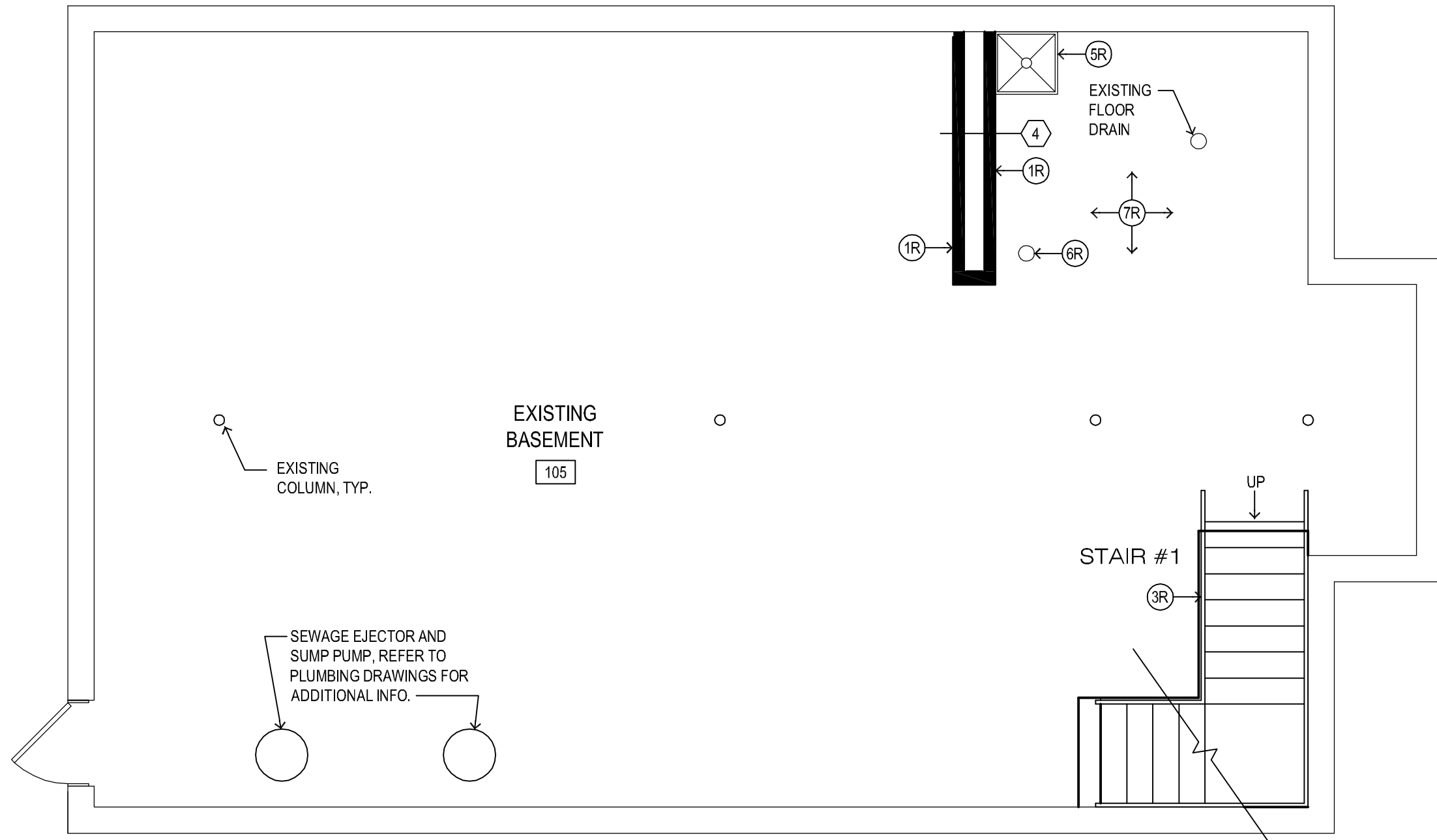
DATE: 7/1/2013

SHEET NO.

AR-3

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



DRAWN: AO

APPROVED: RL

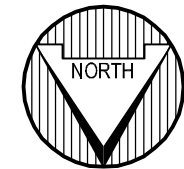
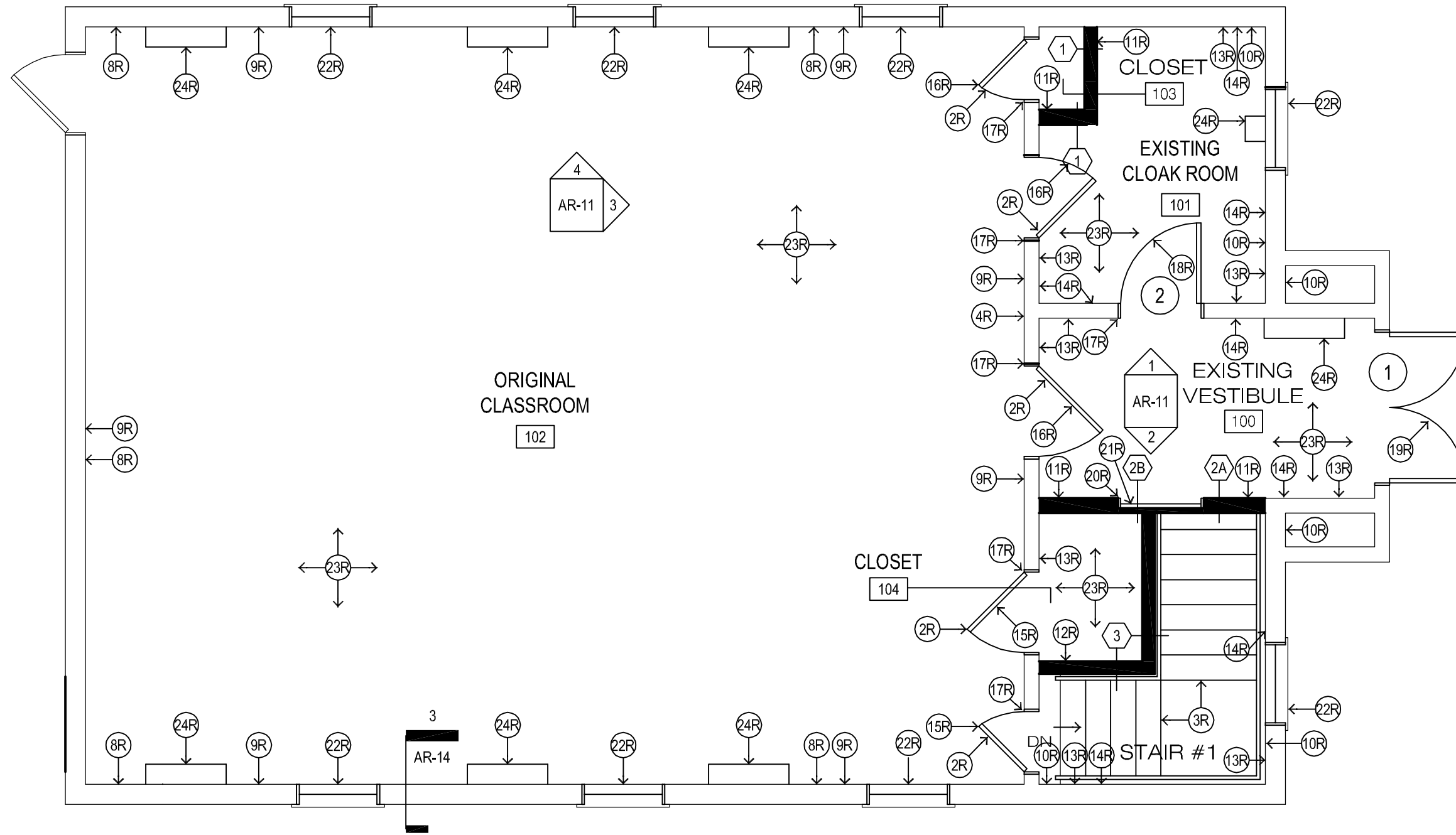
PROFESSIONAL DESIGN FIRM
 IL # 184-000350

DATE: 7/1/2013

SHEET NO.
AR-4

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



DRAWN: AO

APPROVED: RL

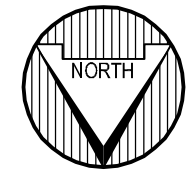
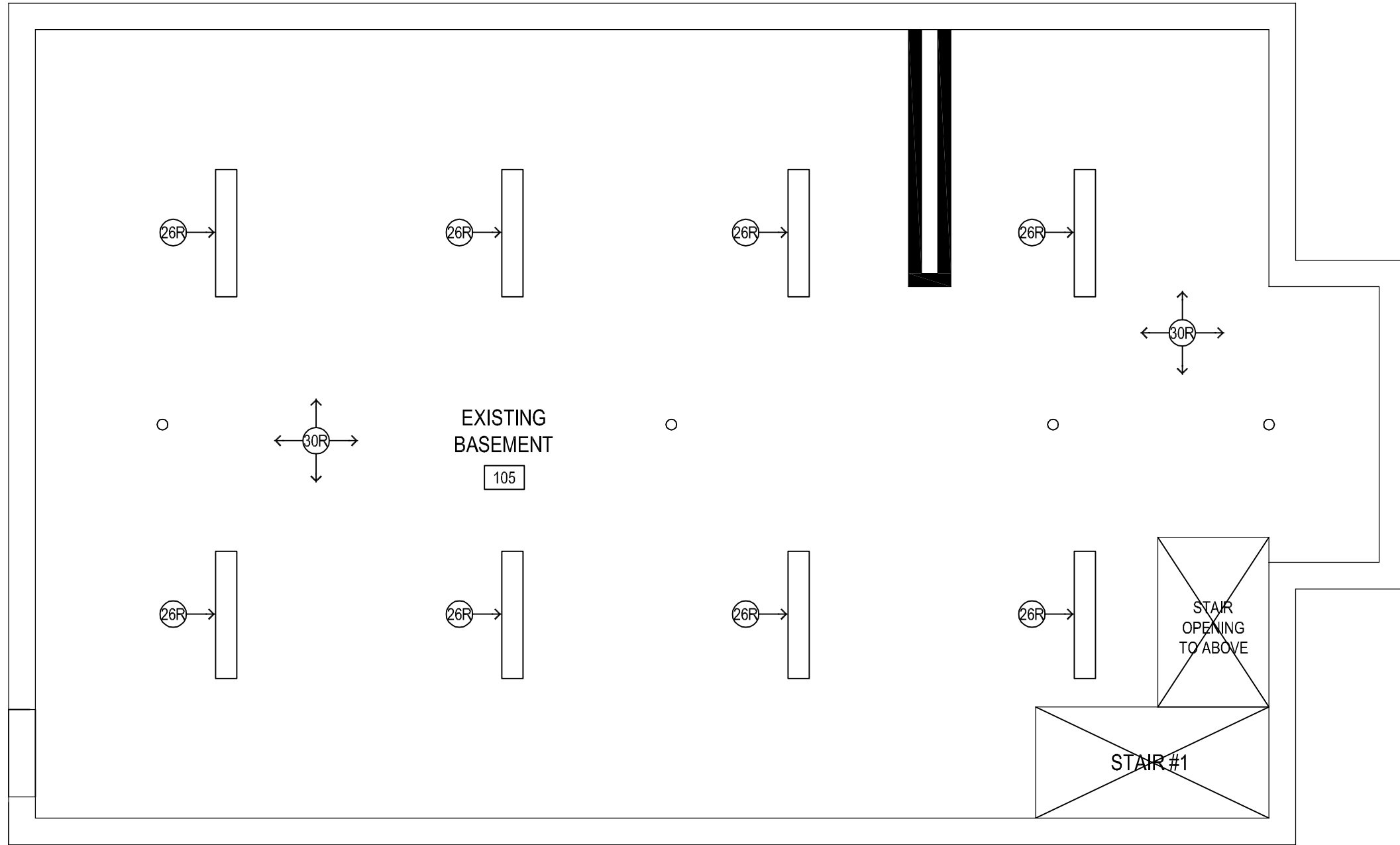
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

AR-5

JOB NO. #13-1641.01



1 FUTURE BASEMENT FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

MOUNT PROSPECT HISTORICAL SOCIETY
CENTRAL SCHOOLHOUSE RESTORATION
103 S. MAPLE STREET MOUNT PROSPECT, IL 60056

BASEMENT FLOOR REFLECTED CEILING PLAN
(FOR REFERENCE ONLY)

DRAWN: AO

APPROVED: RL

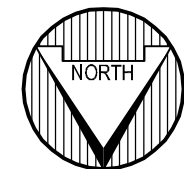
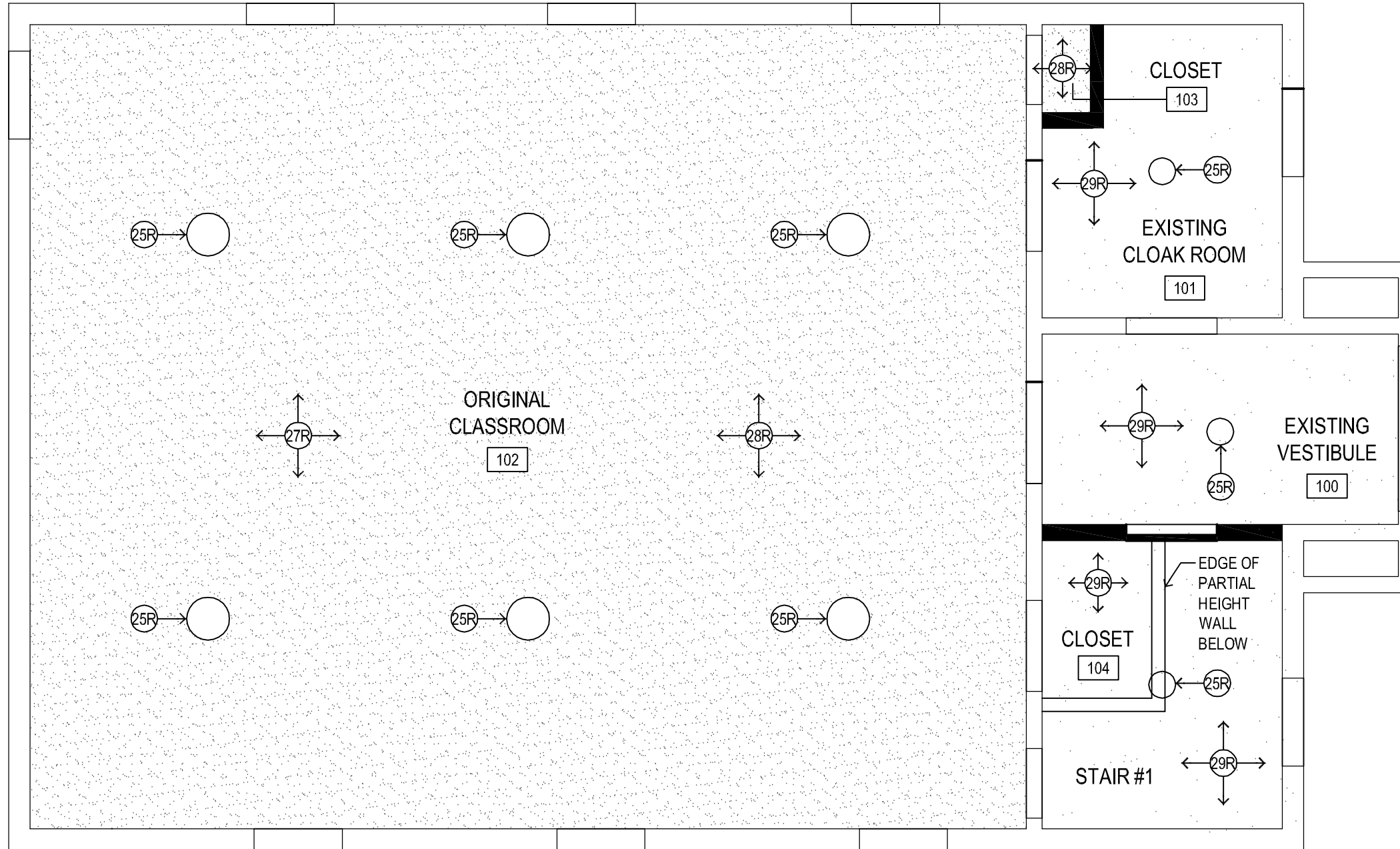
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

AR-6

JOB NO. #13-1641.01



DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

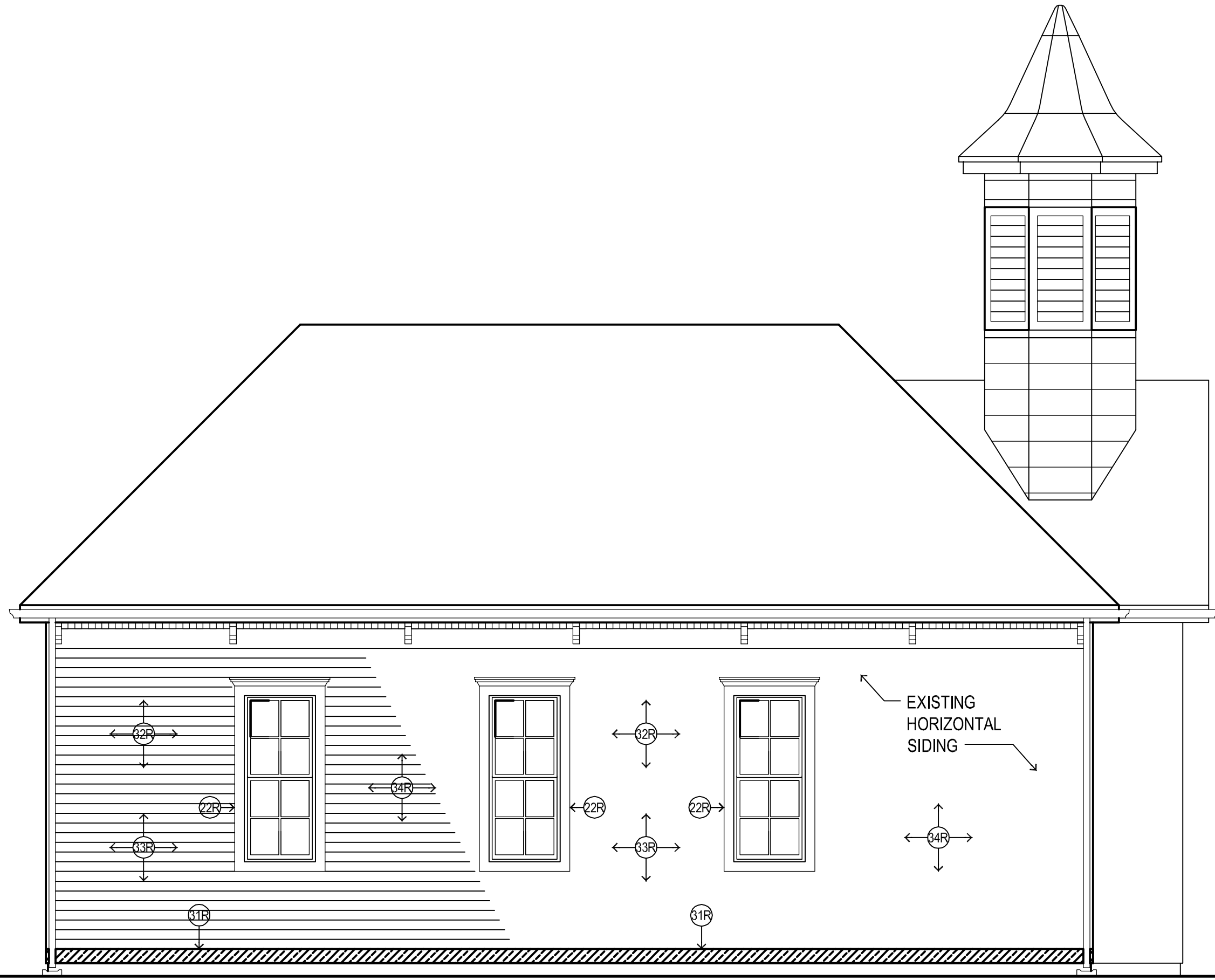
DATE: 7/1/2013

SHEET NO.

AR-7

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



T/ FND
EL. 100'-0"

1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MOUNT PROSPECT HISTORICAL SOCIETY
CENTRAL SCHOOLHOUSE RESTORATION
103 S. MAPLE STREET MOUNT PROSPECT, IL 60056

EXTERIOR ELEVATIONS (FOR REFERENCE ONLY)

DRAWN: AO

APPROVED: RL

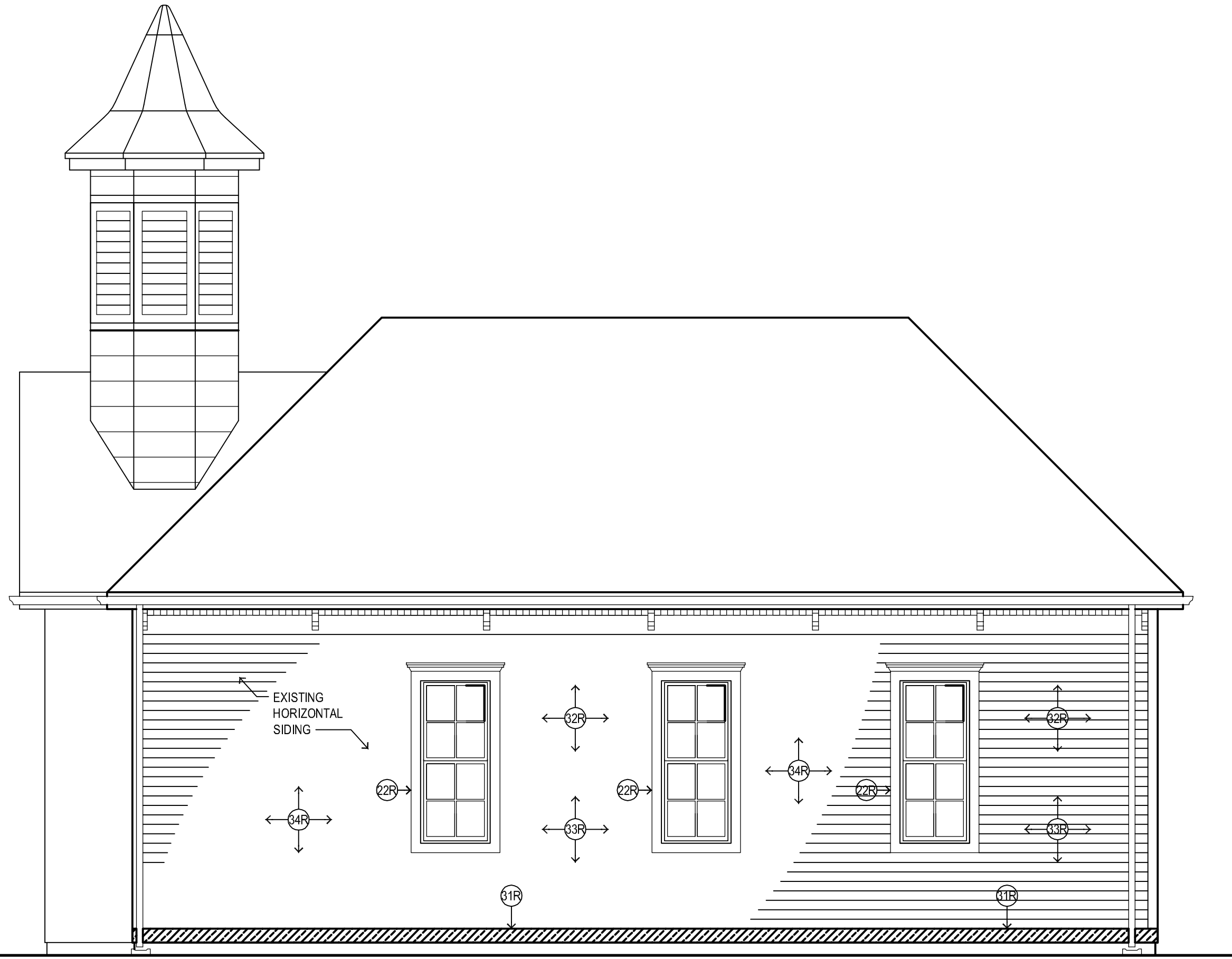
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

AR-8

JOB NO. #13-1641.01



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

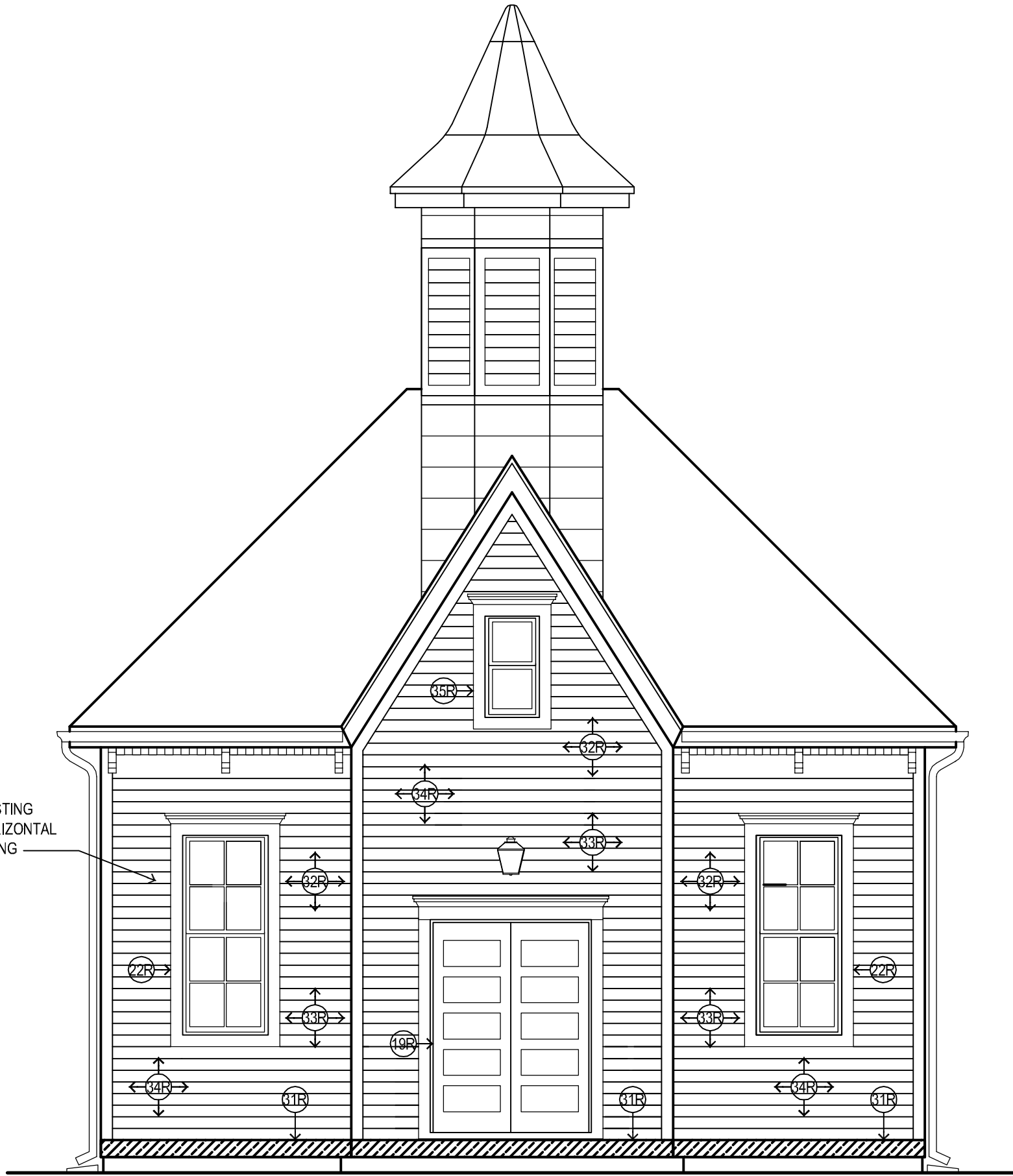
DATE: 7/1/2013

SHEET NO.
AR-9

JOB NO. #13-1641.01

EXISTING
HORIZONTAL
SIDING

T/FND
EL. 100'-0"



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

MOUNT PROSPECT HISTORICAL SOCIETY
CENTRAL SCHOOLHOUSE RESTORATION
103 S. MAPLE STREET MOUNT PROSPECT, IL 60056

EXTERIOR ELEVATIONS (FOR REFERENCE ONLY)

DRAWN: AO

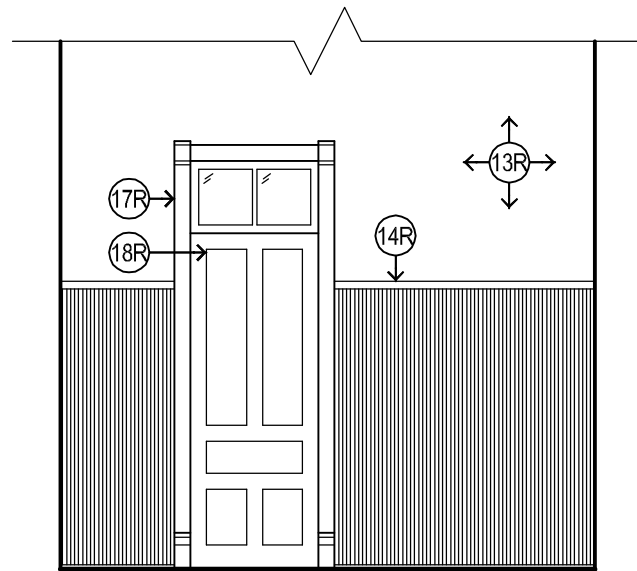
APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

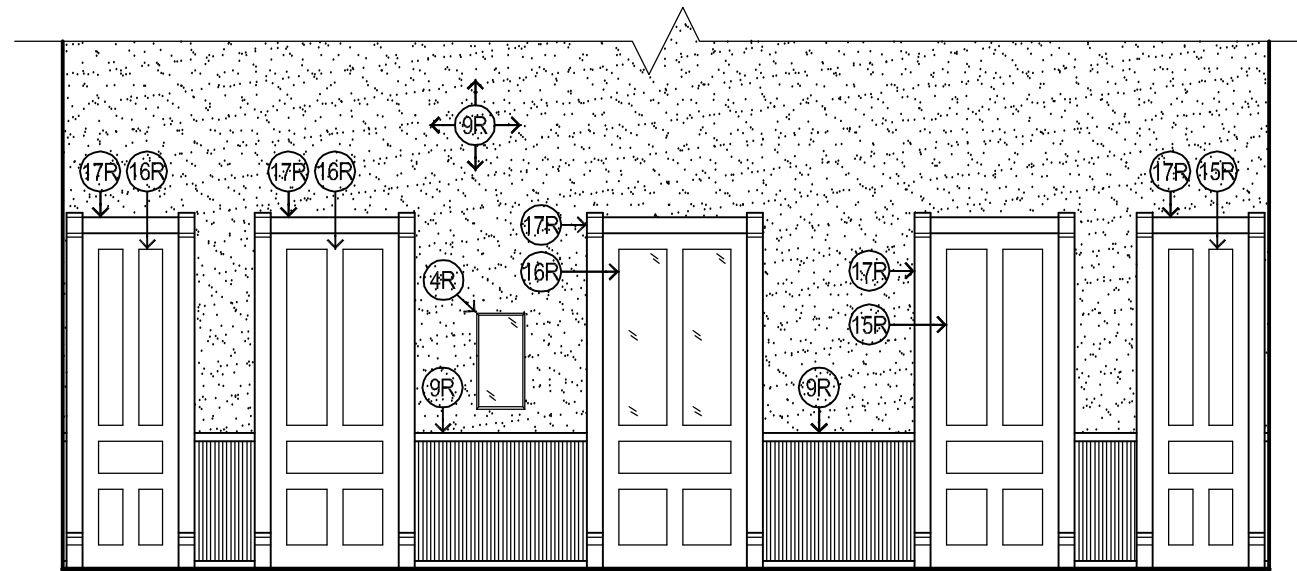
SHEET NO.
AR-10

JOB NO. #13-1641.01



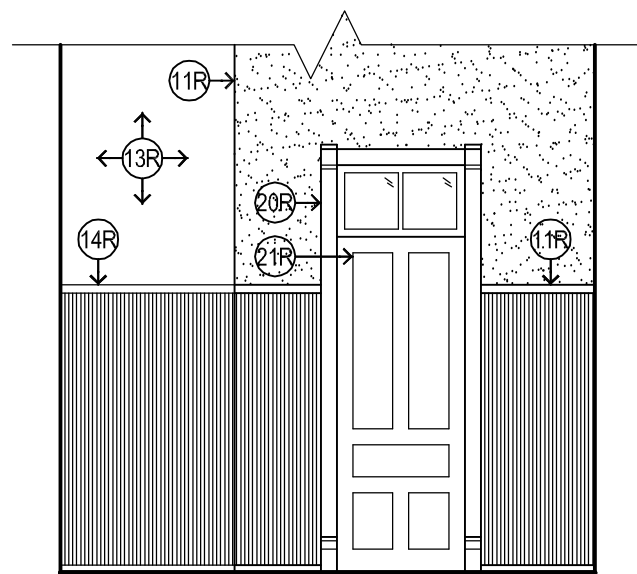
1 SOUTH ELEVATION VESTIBULE #100

SCALE: 1/4" = 1'-0"



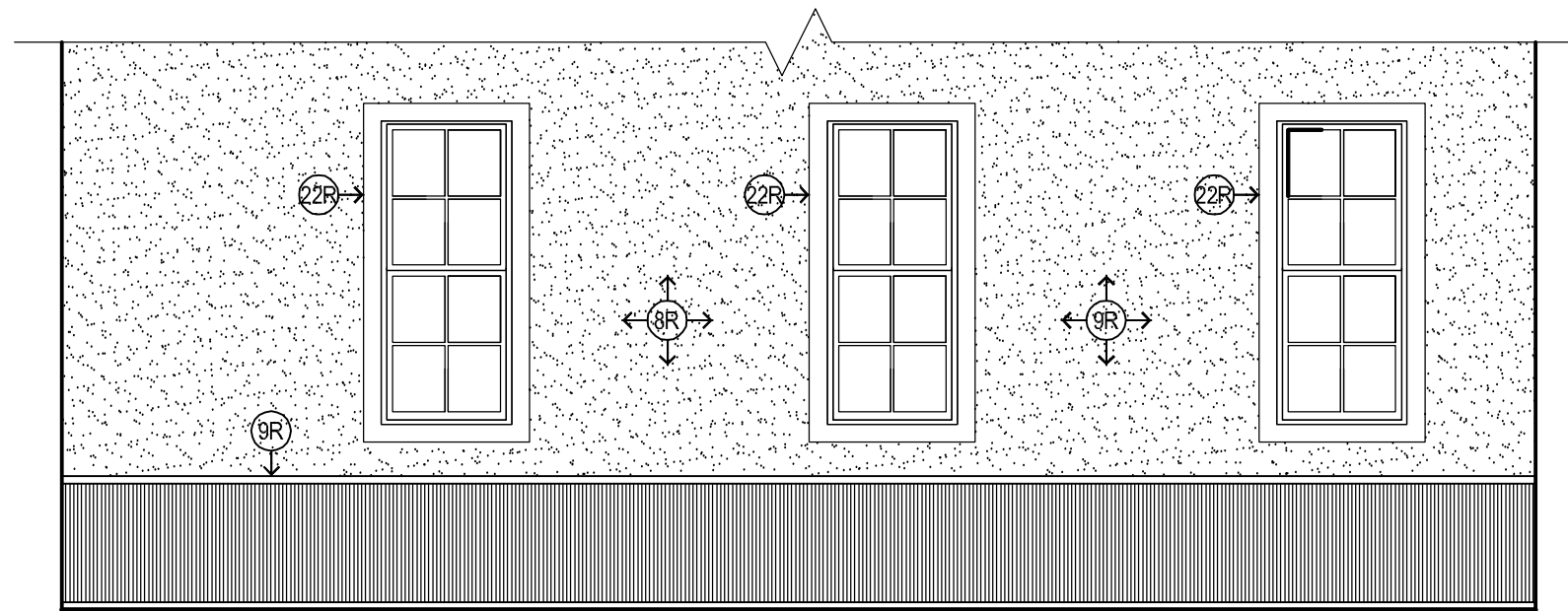
3 WEST ELEVATION ORIGINAL CLASSROOM #102

SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION VESTIBULE #100

SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION ORIGINAL CLASSROOM #102

SCALE: 1/4" = 1'-0"

DRAWN: AO

APPROVED: RL

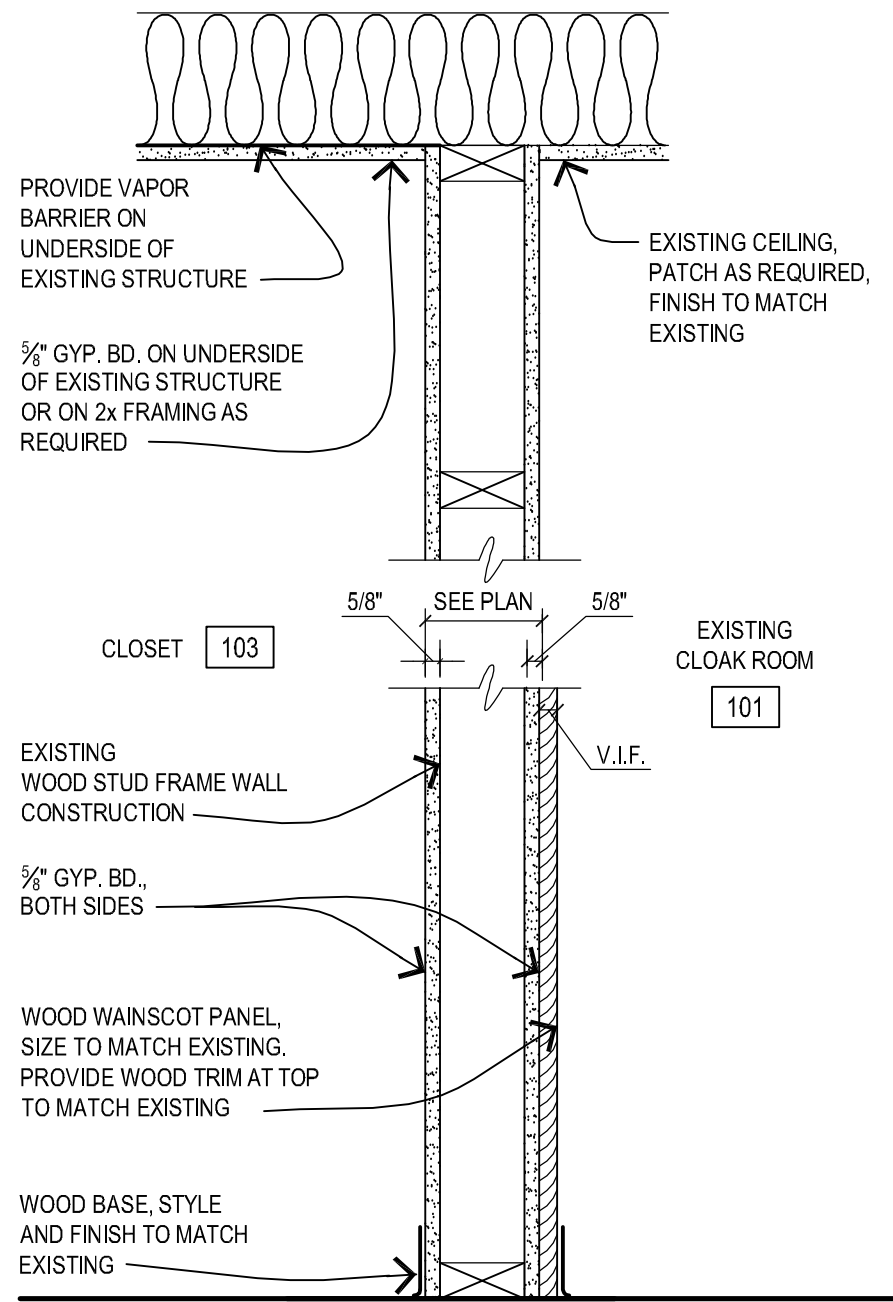
PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

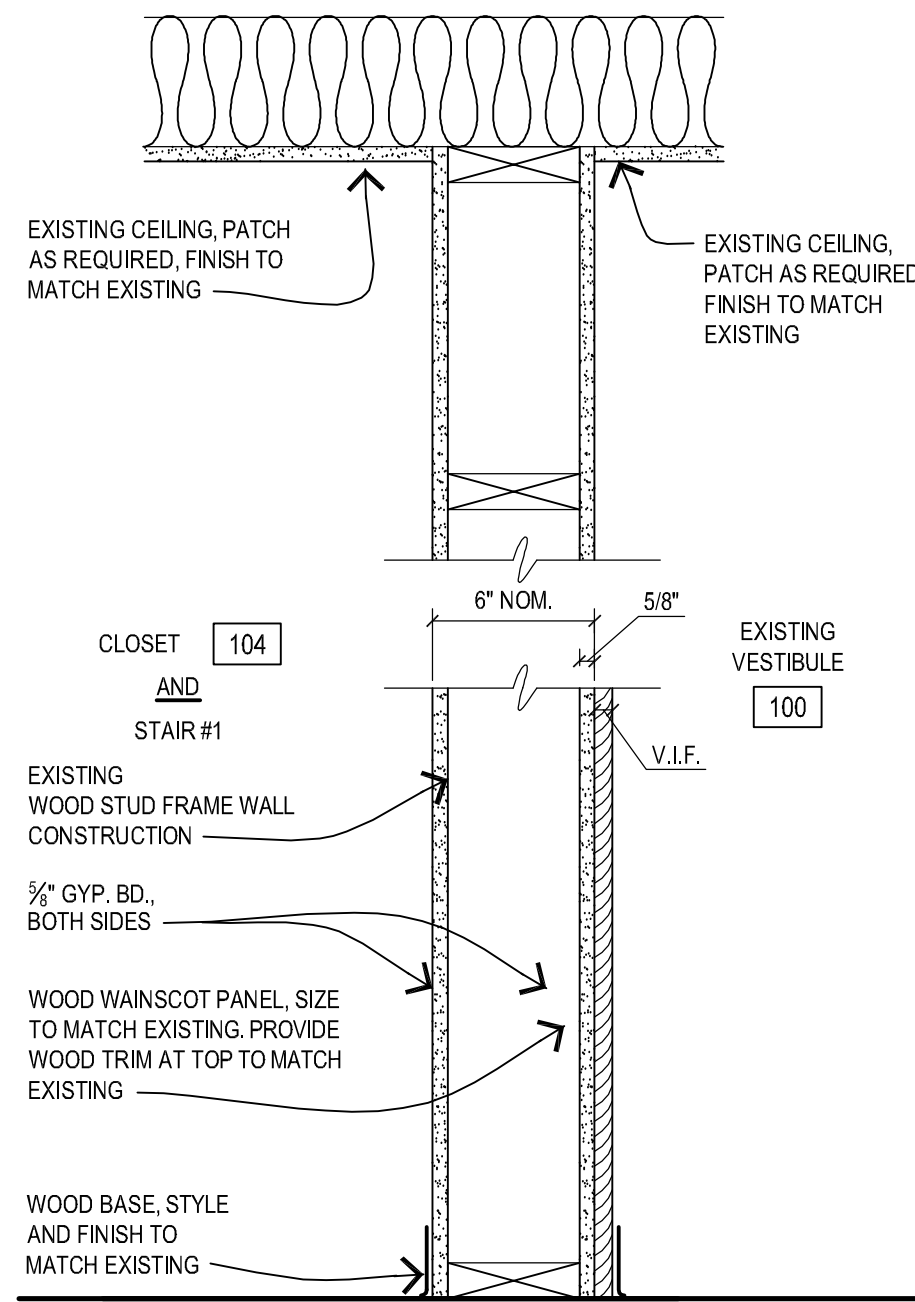
SHEET NO.

AR-11

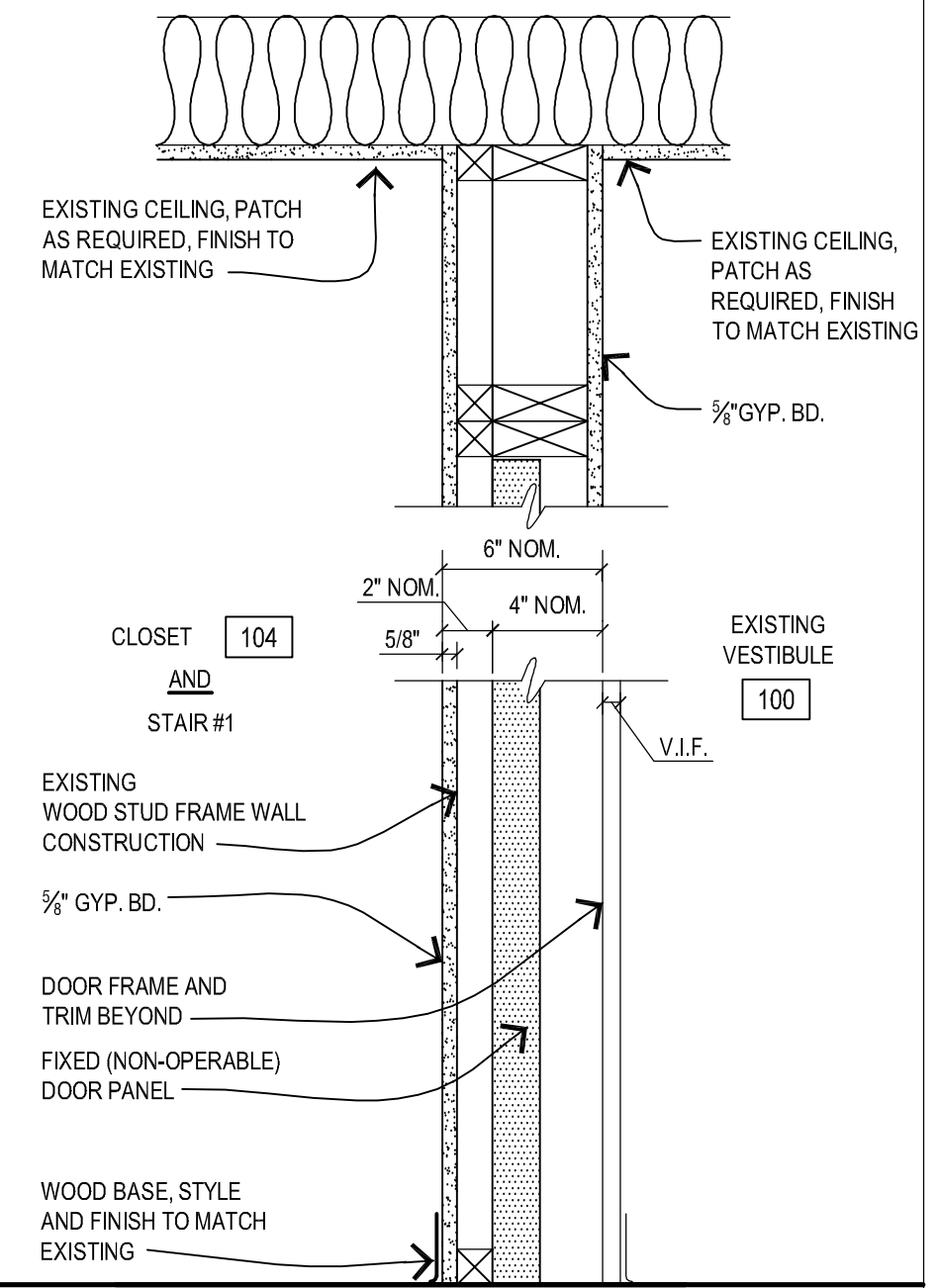
JOB NO. #13-1641.01



1



2A



2B

DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

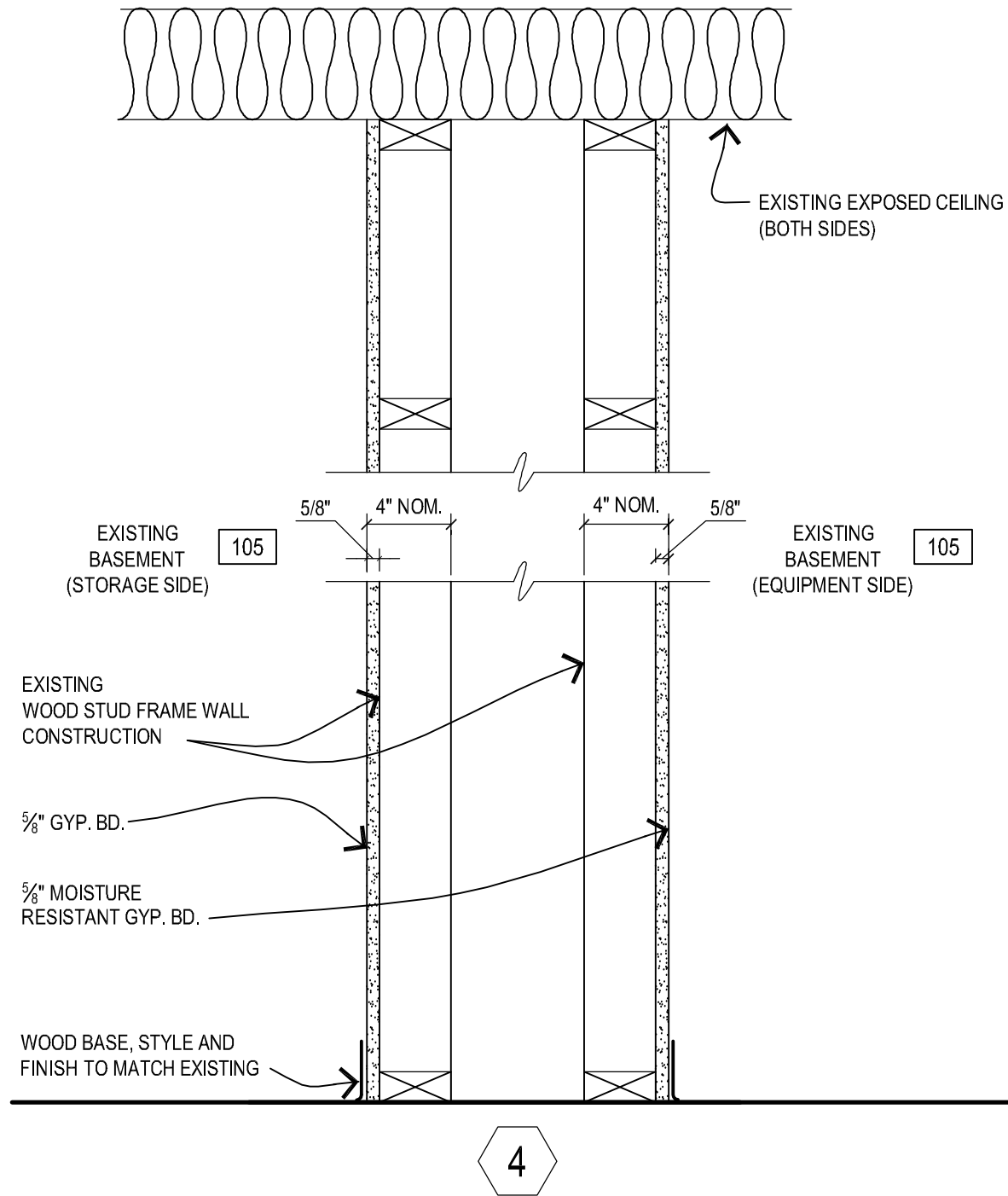
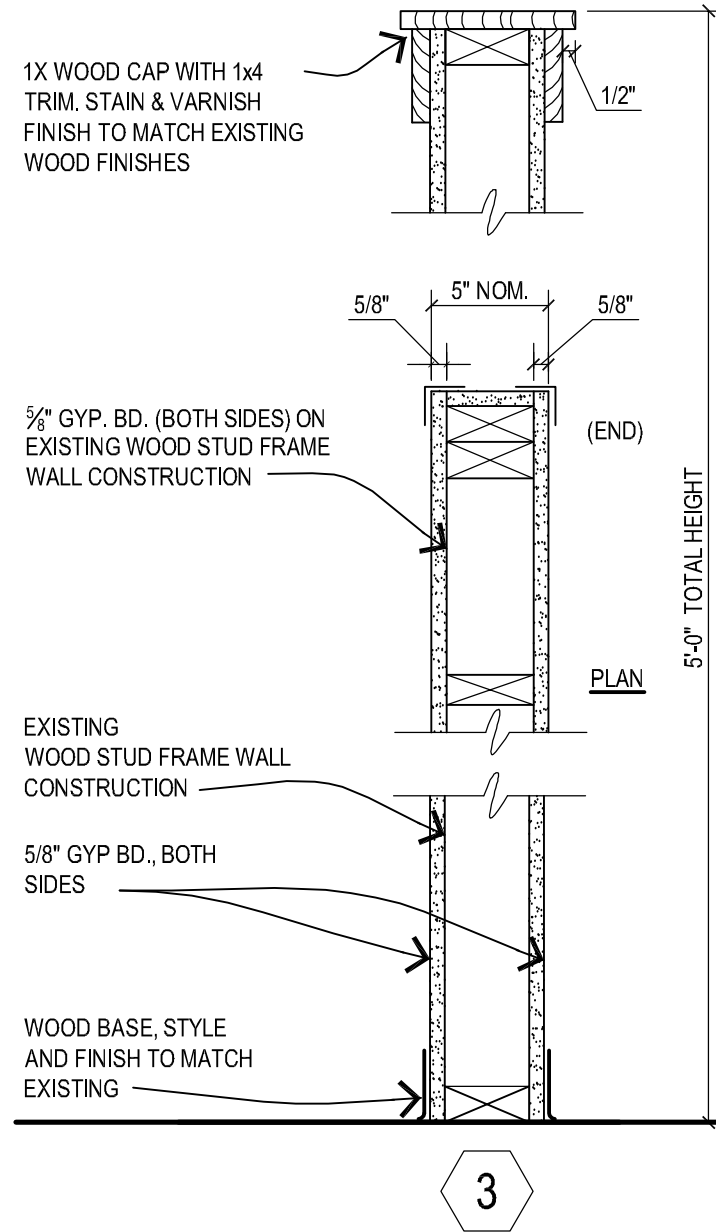
DATE: 7/1/2013

SHEET NO.

AR-12

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.



DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.
AR-13

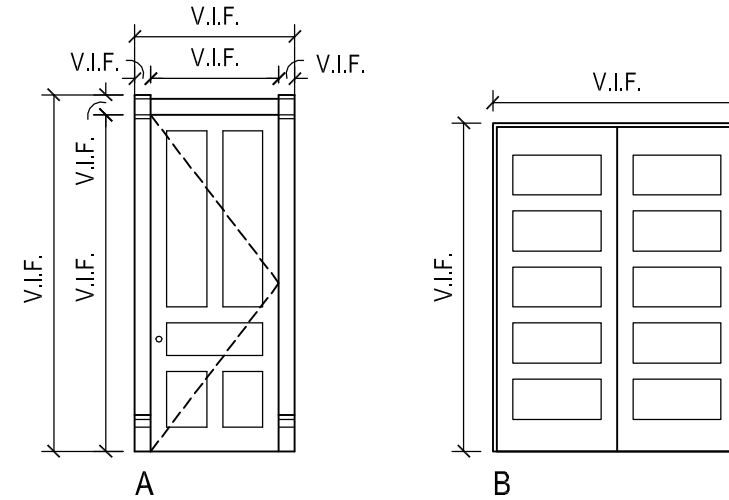
JOB NO. #13-1641.01

GENERAL NOTES

1. ALL WOOD DOORS TO BE PAINTED. COLORS TO BE SELECTED BY OWNER.
2. AT DOOR #1, ALLOW FOR 18" CLEAR ON THE PULL SIDE OF FRONT APPROACHED DOORS PER ILLINOIS ACCESSIBILITY CODE.
3. AT DOOR #1, ALLOW FOR 12" CLEAR ON THE PUSH SIDE OF FRONT APPROACHED DOORS PER ILLINOIS ACCESSIBILITY CODE.
4. AT DOOR #1, DOOR JAMBS TO BE MOUNTED W/ 4" CLEAR TO ADJACENT WALL CONSTRUCTION ON HINGE SIDE UNLESS OTHERWISE NOTED.
5. REFER TO ILLINOIS ACCESSIBILITY CODE FOR REQUIRED CLEARANCES FOR HINGE SIDE AND LATCH SIDE APPROACHED DOORS. NOTIFY ARCHITECT IF CLEARANCES ARE NOT OBTAINABLE.

DOOR SCHEDULE

DOOR NO.	SIZE	TYPE	DOOR		FRAME		REMARKS
			MAT'L	FIN.	MAT'L	FIN.	
FIRST FLOOR							
1	(2) V.I.F. x V.I.F.	B	V.I.F.	V.I.F.	V.I.F.	V.I.F.	DOORS TO MATCH EXISTING REAR ENTRY DOORS
2	V.I.F. x V.I.F.	A	WOOD	P	WOOD	P	DOORS TO MATCH EXISTING INTERIOR DOOR STYLE AND PROFILE

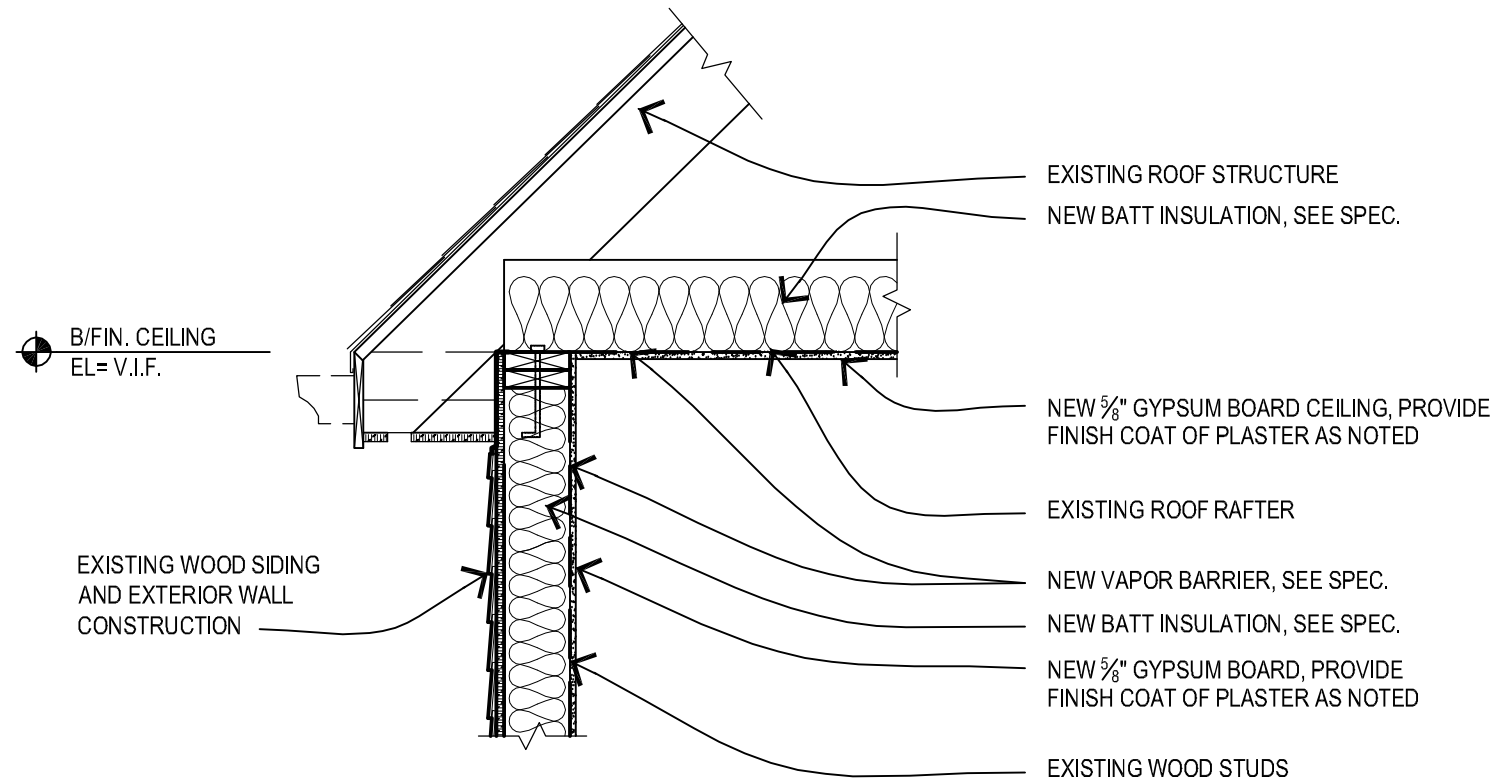


1 DOOR SCHEDULE AND NOTES

NOT TO SCALE

2 DOOR AND FRAME TYPES

SCALE: 1/4" = 1'-0"



3 WALL SECTION DETAIL

SCALE: 3/4" = 1'-0"

DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

AR-14

JOB NO. #13-1641.01



- EXISTING DOOR TO BE REINSTALLED.
- NEW DOORS TO MATCH SIMILAR STYLE AND PROFILE OF EXISTING DOOR.



- EXISTING WOOD DOOR ARCHITECTURAL TRIM TO BE REINSTALLED.
- NEW TRIM TO MATCH SIMILAR STYLE AND PROFILE OF EXISTING TRIM.



- EXISTING WOOD ARCHITECTURAL TRIM AND TRANSOM TO REMAIN. SURFACES TO BE PREPARED TO RECEIVE PAINT.
- NEW DOORWAY AND TRANSOM ON OPPOSITE WALL TO MATCH SIZE, STYLE AND DIMENSION OF EXISTING.



- EXISTING WOOD WAINSCOT PANELS.
- NEW WAINSCOT TO MATCH SIMILAR SIZE, STYLE / PROFILE AND DIMENSIONS OF EXISTING PANELS.



- LOWER HEIGHT OF ORIGINAL WOOD WAINSCOT PANELS IN ORIGINAL CLASSROOM AREA.
- PROVIDE GLASS DISPLAY ENCLOSURE, PER OWNER'S REQUIREMENTS. REFER TO KEY NOTE #4R FOR ADDITIONAL INFORMATION.



- EXISTING WOOD WAINSCOT PANELS.
- NEW WAINSCOT, WOOD WALL BASE AND TOP RAIL TRIM TO MATCH SIZE, STYLE / PROFILE AND DIMENSIONS OF EXISTING PANELS.



- EXISTING EXTERIOR WOOD BASE TRIM TO BE REPAIRED AND REPLACED AS REQUIRED.

DRAWN: AO

APPROVED: RL

PROFESSIONAL DESIGN FIRM
IL # 184-000350

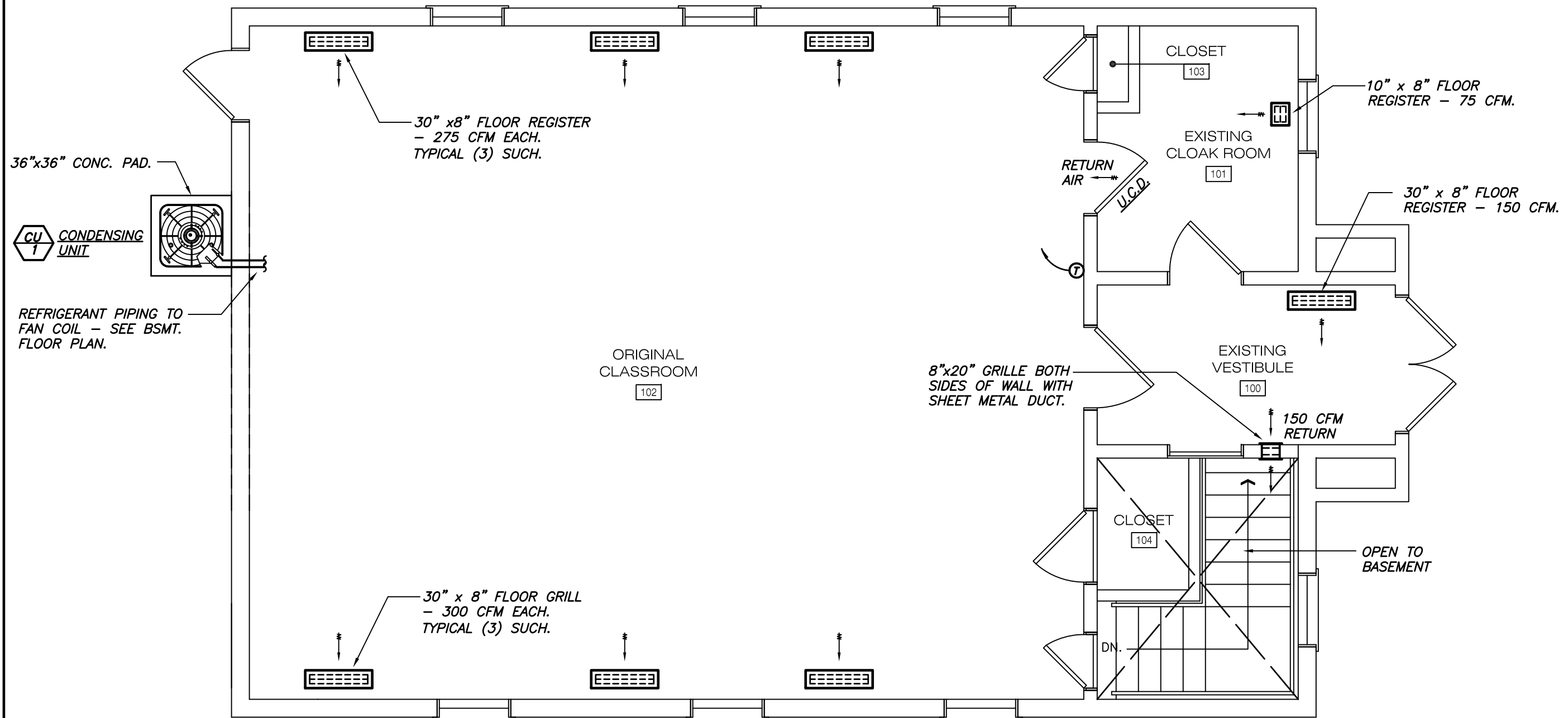
DATE: 7/1/2013

SHEET NO.

AR-15

JOB NO. #13-1641.01

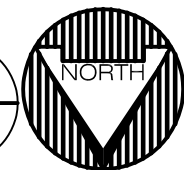
© 2013 FGM ARCHITECTS INC.



MECHANICAL FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

1
M-2



DRAWN: MI

APPROVED: GW

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

M-2

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

MECHANICAL NOTES AND SPECIFICATIONS

- 1 THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY BUILDING PERMITS AND INSPECTION FEES.
- 2 ALL INDOOR DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AS PER THE LATEST SMACNA RECOMMENDATIONS, ASTM G-60 WITH A MINIMUM 0.34 MILS PER SIDE ZINC COATING, AS WELL AS ANY APPLICABLE LOCAL CODES.
- 3 INSTALL VOLUME DAMPERS IN ALL DUCT BRANCHES, AND WHERE SHOWN ON PLANS. MANUAL VOLUME DAMPERS IN RECTANGULAR DUCTS SHALL BE VENTLINE #560 QUADRANT, ROUND ROD, WITH LOCK NUT. ROUND DUCT CONNECTIONS TO BRANCH DUCTS SHALL BE "BUCKLEY" TYPE BM-D OR EQUAL BELLMOUTH BRANCH WITH MANUAL BALANCING DAMPER.
- 4 FLEXIBLE DUCT CONNECTORS TO EQUIPMENT SHALL BE "VENTGLAS", AS MANUFACTURED BY VENTFABRICS, INC., GLASS FIBER COATED WITH DU PONT NEOPRENE, FIRE RETARDANT, ACID AND FUME RESISTANT.
- 5 ALL SUPPLY DUCTWORK SHALL BE EXTERNALLY INSULATED WITH 1 1/2" THICK, 1 PCF DENSITY, FIBERGLASS WITH REINFORCED FOIL FACED DUCT WRAPPING, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. RETURN DUCTWORK SHALL NOT BE INSULATED.
- 6 REFRIGERANT TUBING/PIPING SHALL BE TYPE "ACR" MANUFACTURED IN ACCORDANCE WITH ASTM B280. WHERE SYSTEM PRESSURE IS IN EXCESS OF THE TUBING RATING, PIPING SHALL BE TYPE "K" ("L") COPPER TUBING WITH WROT FITTINGS. ALL JOINTS SHALL BE FORMED WITH "SIL-FOSS" OR EQUIVALENT BRAZING MATERIAL.
- 7 CONDENSATE DRAIN PIPING SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPING, TYPE "M" COPPER TUBING, OR PVC PLASTIC WHERE APPROVED BY LOCAL CODE.
- 8 DO ALL NECESSARY CUTTING AND PATCHING AS DIRECTED BY THE ARCHITECT. PROVIDE ALL REQUIRED SUPPORTS, BLOCKING, AND BRACING AS NECESSARY FOR EQUIPMENT AND DUCT INSTALLATION.
- 9 EXACT LOCATIONS OF ALL GRILLES AND FLOOR REGISTERS SHALL BE COORDINATED IN THE FIELD WITH EXISTING STRUCTURAL FLOOR LAYOUTS. FINAL LOCATIONS TO BE APPROVED BY THE ARCHITECT AND OWNER BEFORE FIELD INSTALLATION.
- 10 THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL TEMPERATURE CONTROLS AND ALL NECESSARY WIRING FOR THE SYSTEMS AS NECESSARY. ALL CONTROLS SHALL BE PROVEN BY ACTUAL FIELD TESTING IN THE PRESENCE OF THE ARCHITECT, OR HIS REPRESENTATIVE.
- 11 THE MECHANICAL CONTRACTOR SHALL ADJUST ALL DRIVES, REGULATE DAMPERS IN ALL DUCTWORK FOR REQUIRED AIR QUANTITIES, AND DO ALL TEST AND BALANCING. PROVIDE THREE (3) BOUND BOOKLETS ATTESTING TO SAID BALANCING TO THE ARCHITECT.
- 12 ALL REFRIGERATION COMPRESSORS SHALL BE FURNISHED WITH A MINIMUM FIVE (5) YEAR WARRANTY FROM THE MANUFACTURER, NO EXCEPTIONS.

SYMBOLS & ABBREVIATIONS

L	REFRIGERANT LIQUID LINE
S	REFRIGERANT SUCTION LINE
M.V.D.	MANUAL VOLUME DAMPER
REG.	SUPPLY AIR REGISTER
GR.	RETURN AIR GRILLE
U.H.	UNIT HEATER
U.C.D.	UNDERCUT DOOR

MECHANICAL EQUIPMENT SCHEDULE



FAN COIL UNIT WITH ELECTRIC HEAT (OPER WGT 125 LBS.)

TRANE MODEL #4TEC3F36B1000A OR APPROVED EQUAL, VERTICAL FAN COIL UNIT WITH A 3-ROW 14 FPI DX COIL, NOMINAL 3 TON CAPACITY, AND A TXV CONTROL. REFRIGERANT TO BE R-410A. UNIT TO SUPPLY 1140 CFM AT 0.50" ESP WITH A 1/3 HP-1 PH-240 VOLT-1080 RPM 10"x7" FAN BLOWER AND 3-SPEED DIRECT DRIVE MOTOR. PIPE CONDENSATE DRAIN TO SINK. ELECTRIC HEATER SHALL BE 9.60 KW (32.8 MBH) 40 AMP WITH A 60 AMP MOCP, 1PH-240 VOLT. FURNISH AND INSTALL A PROGRAMMABLE ROOM THERMOSTAT AND DO ALL CONTROL WIRING. UNIT SHALL BE SET ATOP A REINFORCED SHEET METAL RAISED PLENUM BOX WITH SIDE RETURN DUCT CONNECTION. FILTER IN BOTTOM OF FAN COIL SHALL BE 20 x 20 x 1" THICK THROWAWAY TYPE.



AIR COOLED CONDENSING UNIT (190 LBS OPER WGT)

TRANE MODEL #4TTB3036B1 OR APPROVED EQUAL, HAVING A SPINE-FIN CONDENSER COIL WITH R-410A REFRIGERANT CHARGE OF 7 LB.- 14 OZ. AND A NOMINAL 3.0 TON COOLING CAPACITY AT 95 DEG. AMBIENT, 1200 CFM AIR ENTERING EVAPORATOR COIL AT 80 DB, 67 WB, WITH 13.9 RLA- 1 PH-240 VOLT COMPRESSOR, AND 1/8 HP- 0.7 FLA CONDENSER FAN. MINIMUM CIRCUIT AMPACITY 18.0, MAXIMUM 30 AMP FUSE MOCP. INCLUDE ANTI-SHORT CYCLE TIMER AND HARD START KIT. MOUNT UNIT ATOP CONCRETE CURB AS PER THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE 5-YEAR COMPRESSOR WARRANTY.

REGISTERS, GRILLES, DIFFUSERS, AND LOUVERS

(#25 WHITE BAKED ENAMEL FINISH UNLESS NOTED OTHERWISE)

GRILLES AND REGISTERS:

KEES PATTERN GR250 WITH 43% OPEN AREA MADE OF 14 GAUGE STEEL WITH DARK BRONZE POLYURETHANE FINISH COLOR AS SELECTED BY THE ARCHITECT. GRILLES AND REGISTERS MOUNTED TO FLOOR WITH SURFACE FACE PLATE HAVING COUNTERSUNK SCREWS.

NOTE: THE MECHANICAL CONTRACTOR SHALL FIELD CHECK DIMENSIONS AFTER THE CARPENTRY CONTRACTOR HAS INSTALLED THE NEW FLOOR FRAMING BEFORE FABRICATING DUCT BOOTS FOR THE ABOVE GRILLES AND REGISTERS TO ASSURE PROPER FIT.

REG: BASEMENT SUPPLY REGISTER, TITUS MODEL #300 RS-5 WITH DOUBLE DEFLECTION ADJUSTABLE BLADES, 1 1/4" BORDER, OPPOSED BLADE DAMPERS, STEEL CONSTRUCTION.

RG: BASEMENT RETURN AIR GRILLE, TITUS MODEL #350 RL, 35 DEG. FIXED BLADES AT 3/4" SPACING, 1 1/4" BORDER, STEEL CONSTRUCTION.

DRAWN: MI

APPROVED: GW

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

M-3

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

DRAWN: RM

APPROVED: GW

PROFESSIONAL DESIGN FIRM
IL # 184-000350

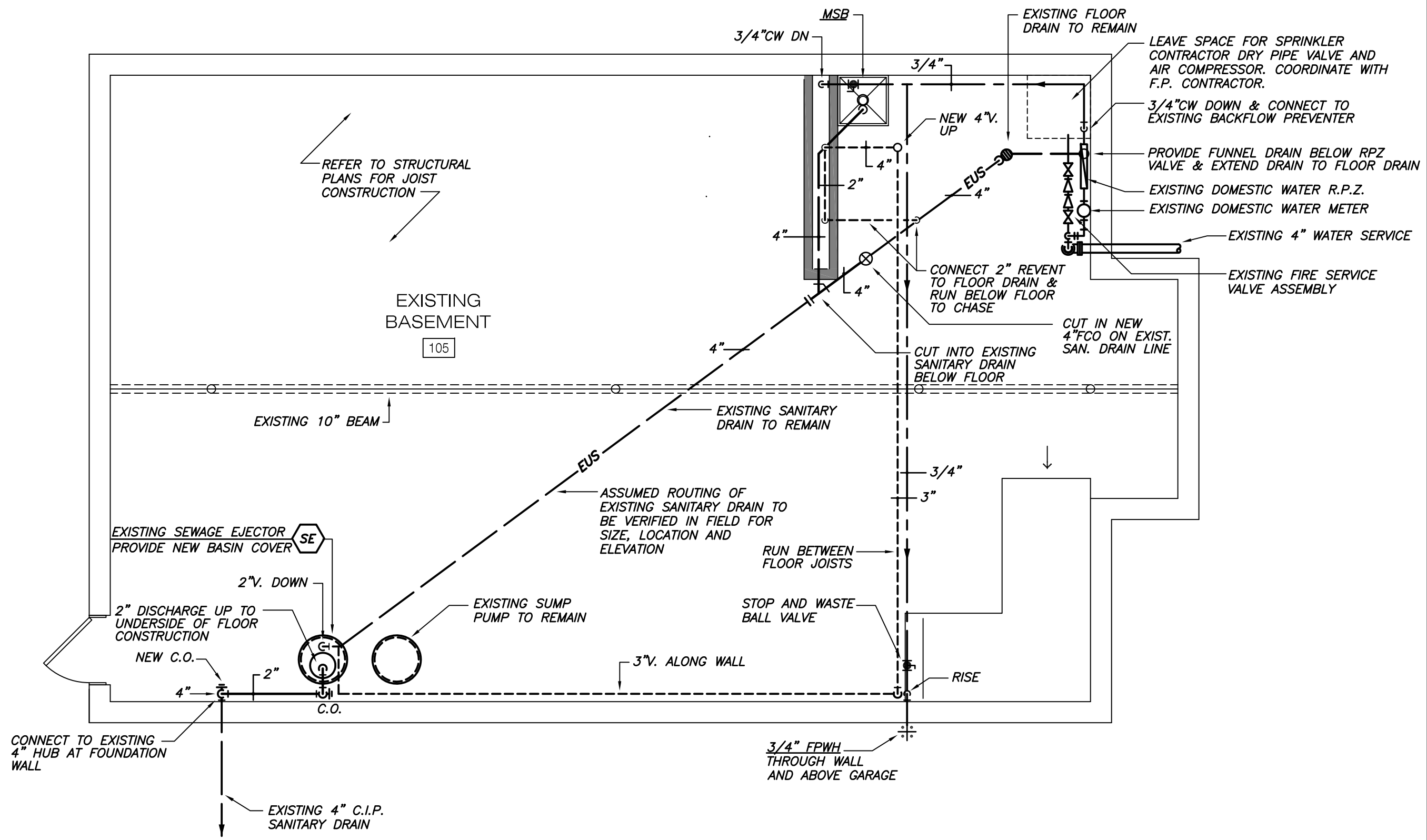
DATE: 7/1/2013

SHEET NO.

P-1

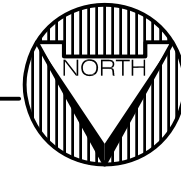
JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

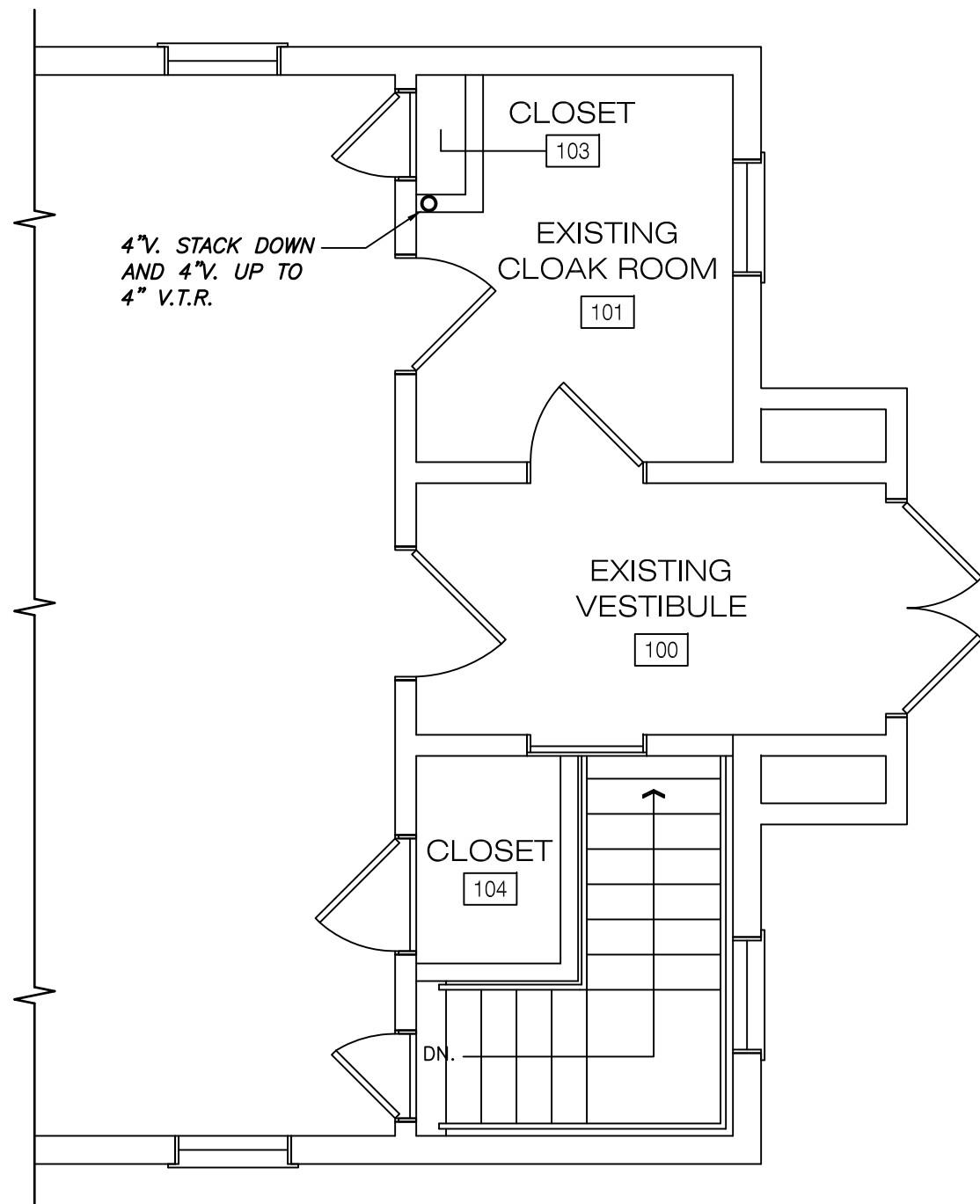


PLUMBING BASEMENT PLAN

SCALE 1/4" = 1'-0"



4" V. STACK DOWN
AND 4" V. UP TO
4" V.T.R.

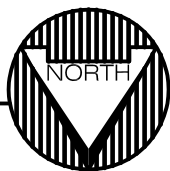


SYMBOLS AND ABBREVIATIONS

	<i>E</i>	INDICATES EXISTING PIPING
		EXISTING PIPING TO BE REMOVED
	<i>US</i>	UNDERGROUND SANITARY DRAIN
		SUSPENDED SOIL OR WASTE
		PLUMBING VENT PIPING
	<i>CW</i>	COLD WATER
	<i>GV</i>	GATE VALVE
	<i>CV</i>	CHECK VALVE
		O.S.&Y. GATE VALVE
	<i>BV</i>	BALL VALVE
		STRAINER
		UNION
	<i>FD</i>	FLOOR DRAIN
	<i>FCO</i>	FLOOR CLEANOUT
	<i>CO</i>	SUSPENDED PIPE CLEANOUT
	<i>WCO</i>	WALL CLEANOUT
	<i>VB</i>	VACUUM BREAKER
	<i>CIP</i>	CAST IRON PIPING
	<i>PVC</i>	POLYVINYL CHLORIDE PIPING
	<i>VTR</i>	VENT THRU ROOF
	<i>INCR.</i>	PIPING INCREASER
	<i>S-W-V</i>	SOIL - WASTE - VENT PIPING
	<i>AFF</i>	ABOVE FINISH FLOOR
	<i>IE</i>	INVERT ELEVATION
	<i>NIC</i>	NOT IN CONTRACT
	<i>T&P</i>	THERMOSTATIC AND PRESSURE RELIEF VALVE

PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



PLUMBING GENERAL NOTES

- 1 ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH LOCAL MUNICIPAL CODE REQUIREMENTS. CONTRACTORS SHALL PAY FOR ALL NECESSARY PERMIT AND INSPECTION FEES.
- 2 CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING. HE SHALL PROVIDE ALL EQUIPMENT AND PIPE SUPPORTS.
- 3 ALL HORIZONTAL SANITARY DRAINAGE SYSTEMS SHALL BE SLOPED AT A MINIMUM OF 1/8" PER FOOT (1.0%) SLOPE UNLESS OTHERWISE NOTED OR SPECIFIED ON THESE CONTRACT DRAWINGS.
- 4 CLEANOUTS SHALL BE INSTALLED IN HORIZONTAL DRAINAGE SYSTEMS IN ALL CHANGES OF DIRECTION GREATER THAN 60 DEGREES AND IN ALL VERTICAL RISERS AT THE BASE OR NO MORE THAN 48" ABOVE THE FINISHED FLOOR IN COMPLIANCE WITH IPC 890.410 THROUGH 890.440.
- 5 UNDERGROUND DRAINAGE PIPING SHALL BE PVC PLASTIC, SCHEDULE 40, PVC PIPING COMPLYING WITH ASTM D2665-74 AND NSF 14, HAVING SOLVENT WELDED JOINTS, D-2855. PIPE SHALL BE LAID ATOP A 4" GRANULAR BEDDING OF ROUNDED PEA GRAVEL OR SAND WITH NO JAGGED NOR SHARP EDGES THROUGH BEDDING LENGTH.
- 6 SOIL, WASTE, AND VENT PIPING ABOVE EXCAVATED FLOORS SHALL BE TYPE DWV, SCHEDULE 40, PVC PIPING COMPLYING WITH ASTM D2665-74 AND NSF 14, HAVING SOLVENT WELDED JOINTS WITH VISIBLE PURPLE PRIMER. PIPE TO BE SUPPORTED AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS, BUT WITH HORIZONTAL SUPPORTS NOT EXCEEDING FOUR (4) FEET ON CENTER.
- 7 WATER SUPPLY PIPING ABOVE EXCAVATED FLOORS SHALL BE TYPE "L" COPPER TUBING, ASTM B-88, HARD DRAWN, WITH WROUGHT FITTINGS AND 95-5 TIN AND ANTIMONY SOLDER. NO LEAD SOLDER TO BE USED. DISSIMILAR METALS SHALL NOT BE APPROVED UNDER ANY CIRCUMSTANCE FOR THIS PROJECT. PIPE SIZES ARE NOMINAL INSIDE DIAMETER AND SHALL CONFORM WITH THE FOLLOWING PIPING SCHEDULE:

PIPE SIZE	COPPER	PIPE SIZE	COPPER
1/2" DIAM.	5/8" O.D.	1 1/2" DIAM.	1 5/8" O.D.
3/4" DIAM.	7/8" O.D.	2" DIAM.	2 1/8" O.D.
1" DIAM.	1 1/8" O.D.	1 1/2" DIAM.	2 5/8" O.D.
1 1/4" DIAM.	1 3/8" O.D.		
- 8 USE DI-ELECTRIC UNIONS OR INSULATED COUPLINGS FOR CONNECTIONS BETWEEN EQUIPMENT AND PIPING OF DISSIMILAR MATERIALS.
- 9 INSULATE WATER PIPING WITH 1/2" THICK, 4 PCF DENSITY, FIBERGLASS SECTIONAL PIPE INSULATION HAVING VAPOR BARRIER AND ALL PURPOSE JACKET. OMIT PIPE INSULATION ON BRANCH PIPING WITHIN PLUMBING WALLS. RISERS TO BE INSULATED IN THEIR ENTIRETY.
- 10 INSTALL BALL VALVES WITH UNIONS IN ALL BRANCHES SERVING TWO (2) OR MORE FIXTURES, AT BASE OF ALL RISERS, AND WHERE INDICATED ON PLANS. VALVES SHALL BE RATED FOR 125 PSIG STEAM WITH BRONZE BODY AND TRIM. VALVES SHALL BE AS MANUFACTURED BY "STOCKHAM" AS LISTED BELOW:

	THREADED	SOLDERED
GATE VALVES	#B-103	#B-104
CHECK VALVES	#B-319	#B-309
BALL VALVES	#S-217	#S-227
- 11 INSTALL FULL SIZE OF PIPE GATE AND CHECK VALVES IN EACH SEWAGE EJECTOR PUMP DISCHARGE LINE.
- 12 ALL VENTS TO EXTEND 12" ABOVE THE ROOF LINE AND BE PROVIDED WITH REGULAR ROOF CONNECTION TO RECEIVE FLASHING MADE FOR THIS PURPOSE.
- 13 CONTRACTOR SHALL PERFORM ALL DOMESTIC WATER PRESSURE TESTS AND CHLORINATION, AND SOIL-WASTE-VENT-STORM DRAIN PIPING PRESSURE TESTS IN ACCORDANCE WITH GOVERNING CODE JURISDICTION.
- 14 REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF ROOMS, ROOF DRAINS, PLUMBING FIXTURES, AND MISCELLANEOUS ITEMS RELATING TO THE PLUMBING WORK UNDER THIS CONTRACT.

PLUMBING FIXTURE SCHEDULE

- A. FIXTURE MANUFACTURERS:
- 1 ACCEPTABLE PLUMBING FIXTURE MANUFACTURERS SHALL BE ELJER, KOHLER, AND AMERICAN STANDARD. WHERE FIXTURES ARE TAGGED FOR HANDICAPPED USE, THE MANUFACTURER SHALL SUBMIT VERIFICATION THAT FIXTURE COMPLIES WITH THE LATEST "AMERICANS WITH DISABILITIES ACT" (A.D.A.) STANDARDS.
 - 2 MANUFACTURERS OF FIXTURE CARRIERS, SUPPORTS, DRAINS, AND CLEANOUTS SHALL BE J.R. SMITH, WADE, ZURN, OR JOSAM.
- B. ALL FIXTURES SHALL BE WHITE UNLESS OTHERWISE SPECIFICALLY NOTED.
- C. INSTALL 3/8" LOOSE KEY STOPS AND 12" FLEXIBLE RISERS, "BRASSCRAFT", "PLUMBCRAFT", "McGUIRE", OR FIXTURE MANUFACTURER, AND ONLY WITH BRASS STEMS ON THE VALVES. PLASTIC STEMS ARE NOT ACCEPTABLE.
- D. LAVATORY WITH 1-1/4" CHROME PLATED TRAP WITH DRAIN ARM AND ESCUTCHEON, NOT LESS THAN 17 GAUGE.
- E. LAVATORY WITH CHROME PLATED 1 1/4" TAILPIECE AND GRID STRAINER ASSEMBLY WITH OFFSET TAILPIECE AND CHROME PLATED EXTENSION TO TRAP.
- F. PROVIDE ALL NECESSARY CAULKING OF PLUMBING FIXTURES AT THE JUNCTION OF FIXTURE TO WALL OR FLOOR SO AS TO MAKE THE INSTALLATION WATERPROOF. CAULK MATERIAL SHALL BE OF SILICON AND SHALL MATCH FIXTURE COLOR UNLESS OTHERWISE DIRECTED BY THE PROJECT SPECIFICATIONS OR ARCHITECT.
- G. LAVATORY P-TRAP AND HOT WATER SUPPLY STOP SHALL BE INSULATED WITH THE FULLY MOLDED "TRUEBRO" INSULATION KIT #101 WITH ACCESSORY #105 OFFSET TAILPIECE IF REQUIRED, OR APPROVED EQUAL MANUFACTURER. TRAP ASSEMBLY TO INCLUDE WEEP HOLE.

PLUMBING FIXTURES AND TRIM:

- MSB: MOP SERVICE BASIN OF MOLDED STONE CONSTRUCTION, FIAT #MSB-2424, 24" x 24" x 10" DEEP WITH DOME STRAINER, RIM GUARD, MOP HANGER, HOSE AND BRACKET, CHICAGO FAUCET #952-CP INSIDE SILL FITTING WITH VACUUM BREAKER AND STOP. SEAL EDGES AT WALL WITH SILICONE SEALANT. FURNISH AND INSTALL 3"IPS TRAP AND STRAINER.
- FD: J.R. SMITH #2010-A, CAST IRON BODY WITH FLASHING FLANGE, 6" DIAMETER NICKEL BRONZE ADJUSTABLE STRAINER. UNLESS OTHERWISE NOTED OR CODE REQUIRED, PROVIDE DEEP SEAL TRAPS FOR ALL FLOOR DRAINS.
- FCO: FLOOR CLEANOUTS, J.R. SMITH #4020 CAST IRON BODY WITH ROUND SCORiated NICKEL BRONZE TOP. PROVIDE CARPET MARKER WHERE REQUIRED IN CARPETED FLOORS.
- FPWH: FROST PROOF WALL HYDRANT J.R. SMITH #5609QT WITH INTEGRAL VACUUM BREAKER, LOOSE KEY, 3/4" HOSE CONNECTION, AND NICKEL BRONZE FINISH.

PLUMBING EQUIPMENT SCHEDULE



SEWAGE EJECTOR (EXISTING BASIN)

CONTRACTOR SHALL FURNISH AND INSTALL A STEEL COVER WITH INSPECTION MANHOLE, 2" VENT CONNECTION, AND PUMP OUTLET / MOTOR HOUSING. FIELD MEASURE EXISTING BASIN TO ASSURE PROPER SIZE. PROVIDE GASKET OR CAULKING TO SEAL GAS TIGHT. REMOVE AND REPLACE PUMP WITH A NEW WEIL PUMP COMPANY MODEL 2" - 2426 SUBMERESIBLE PUMP CAPACITY OF 20 GPM AT 16 FT. HD. WITH A 1/2 HP - 1 PH - 115 V. - 1750 RPM MOTOR.

DRAWN: RM

APPROVED: GW

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

P-3

JOB NO. #13-1641.01

ELECTRICAL ABBREVIATIONS

Table with columns: ABBREV, DESCRIPTION, ABBREV, DESCRIPTION. Lists various electrical symbols and their meanings, such as AFF ABOVE FINISHED FLOOR, AC ALTERNATING CURRENT, etc.

APPLICABLE CODES AND STANDARDS

- APPLICABLE CODES INCLUDE: 1. NATIONAL ELECTRIC CODE CURRENT EDITION, 2. INTERNATIONAL BUILDING CODE CURRENT EDITION, etc.

GENERAL NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF LIGHTING AND CONTROLS, RECEPTACLES, COMMUNICATIONS DEVICES, FIRE ALARM DEVICES, AND LIFE SAFETY DEVICES, etc.

- A. INTERIOR RECEPTACLES 16"
B. OUTDOOR AND GANGE RECEPTACLES 24"
C. TELEPHONE AND DATA OUTLETS 16"
D. TOGGLE AND LIGHTING SWITCHES 46"
E. FIRE ALARM PULL STATIONS 46"
F. SECURITY CALL STATIONS 46"
G. TELEVISION OUTLETS 16"
H. THERMOSTAT J-BOXES 46"
I. CLOCK AND PAGING SPEAKER OUTLETS 80"
J. FIRE ALARM AUDIO/VISUAL DEVICES 80"
K. WALL MOUNTED EXIT SIGNS 80"
L. INDIVIDUAL DISCONNECTS AND STARTERS 12"
M. GROUPED DISCONNECTS AND STARTERS 12"
N. PANELBOARD OVERCURRENT DEVICES 72"
O. GENERAL WALL MOUNTED LIGHTING FIXTURES 80"

FIRE ALARM SYMBOLS

Table with columns: SYMBOL, DESCRIPTION. Lists fire alarm symbols like FIRE ALARM MANUAL PULL STATION, SMOKE DETECTOR, WATER FLOW SWITCH, etc.

FIRE PROTECTION GENERAL NOTES

- 1. PROVIDE 2-GANG J-BOX AND 3/4" WITH INSULATING BUSHINGS AND PULL STRINGS FOR EACH NEW FIRE ALARM DEVICE. ALL FIRE ALARM CABLING SHALL BE PROVIDED BY E.C. AND RUN IN CONDUIT, U.L.O. COORD. WITH MANUFACT. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

- 11. ALL REQUIRED PROGRAMMING, PERMIT DRAWINGS, ALLOWANCES, FIELD VISITS, AND MEETINGS ARE MANDATORY AND ARE TO BE INCLUDED IN BASE BID, NO ADDITIONAL COMPENSATION SHALL BE GRANTED FOR THE ABOVE-MENTIONED.

GENERAL ELECTRICAL SYMBOLS

Table with columns: SYMBOL, DESCRIPTION. Lists general electrical symbols like CONDUIT RUN CONCEALED IN CEILING OR WALL, CONDUIT RUN CONCEALED IN OR BELOW FLOOR, etc.

ELECTRICAL GENERAL NOTES

- 1. REFER TO PANELBOARD DIVISION LINES FOR BRANCH CIRCUIT HOMERUN PANELBOARD WHERE INDICATED, UNLESS IDENTIFIED OTHERWISE.

- 11. ALL REQUIRED PROGRAMMING, PERMIT DRAWINGS, ALLOWANCES, FIELD VISITS, AND MEETINGS ARE MANDATORY AND ARE TO BE INCLUDED IN BASE BID, NO ADDITIONAL COMPENSATION SHALL BE GRANTED FOR THE ABOVE-MENTIONED.

POWER SYMBOLS

Table with columns: SYMBOL, DESCRIPTION. Lists power symbols like FLUSH ABOVE FLOOR BOX, FLUSH IN-FLOOR THROUGH, DUPLEX RECEPTACLE, etc.

POWER GENERAL NOTES

- 1. STARTERS AND COMBINATION DISCONNECT/STARTERS SHALL BE FURNISHED BY MECHANICAL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR. SIZES/RATINGS INDICATED ON ELECTRICAL DRAWINGS ARE FOR REFERENCE ONLY.

LIGHTING SYMBOLS

Table with columns: SYMBOL, DESCRIPTION. Lists lighting symbols like SURFACE WRAPAROUND FLUORESCENT LIGHTING FIXTURE, PENDANT TYPE LIGHTING FIXTURE, etc.

LIGHTING GENERAL NOTES

- 1. ALL ACRYLIC LENS SHALL BE 100% VIRGIN ACRYLIC, MIN. .125" THICKNESS. ALL LIGHT FIXTURES SHALL HAVE LENSES, LOUVERS, OR GUARDS, NO EXPOSED FLUORESCENT TUBES, HID LAMPS, OR INCANDESCENT LAMPS SHALL BE ALLOWED.

DRAWN: BMD

APPROVED: DBD

PROFESSIONAL DESIGN FIRM IL # 184-000350

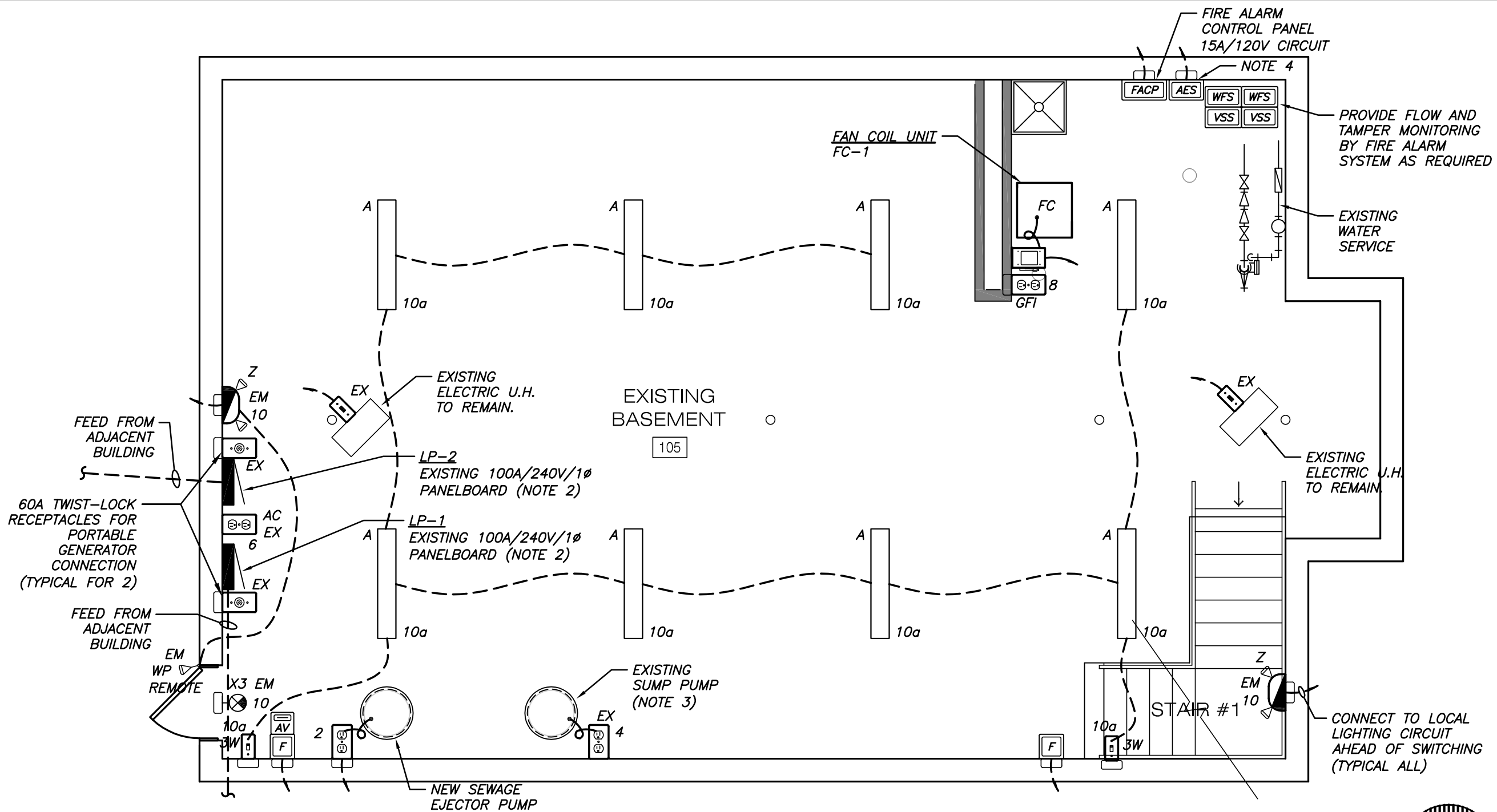
DATE: 7/1/2013

SHEET NO.

E-0

JOB NO. #13-1641.01

(C) 2013 FGM ARCHITECTS INC.

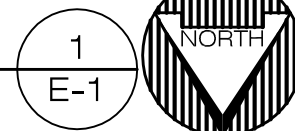


PROPOSED BASEMENT FLOOR PLAN

NOTES:

1. REFER TO SHEET E-0 SYMBOLS, NOTES, AND SPECIFICATIONS.
2. INTERCONNECT GROUND AND NEUTRALS AT ENTRY TO BUILDING PER CODE. PROVIDE 1#6G, 1/2" C FROM PANELBOARD TO WATER SERVICE INCOMING AND A 10' DRIVEN GROUND ROD.
3. PROVIDE 20A/120V PLUG IN BATTERY BACK UP UNIT FOR EXISTING SUMP PUMP SIMILAR TO SUMPRO BASE MODEL 1/2 HP.
4. PROVIDE DEDICATED 20A/120V CIRCUITS FOR NEW FIRE ALARM SYSTEM AND WIRELESS ALARM MONITORING UNIT.
5. ALL CIRCUITING IS FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL COORDINATE ALL FINAL CIRCUITRY WITH EXISTING PANELBOARDS IN FIELD AS REQUIRED, V.I.F.
6. PROVIDE LOCK-ON DEVICES FOR ALL FIRE ALARM EQUIPMENT AND EM LIGHTING CIRCUIT BREAKERS.

SCALE 1/4" = 1'-0"



DRAWN: BMD

APPROVED: DBD

PROFESSIONAL DESIGN FIRM
IL # 184-000350

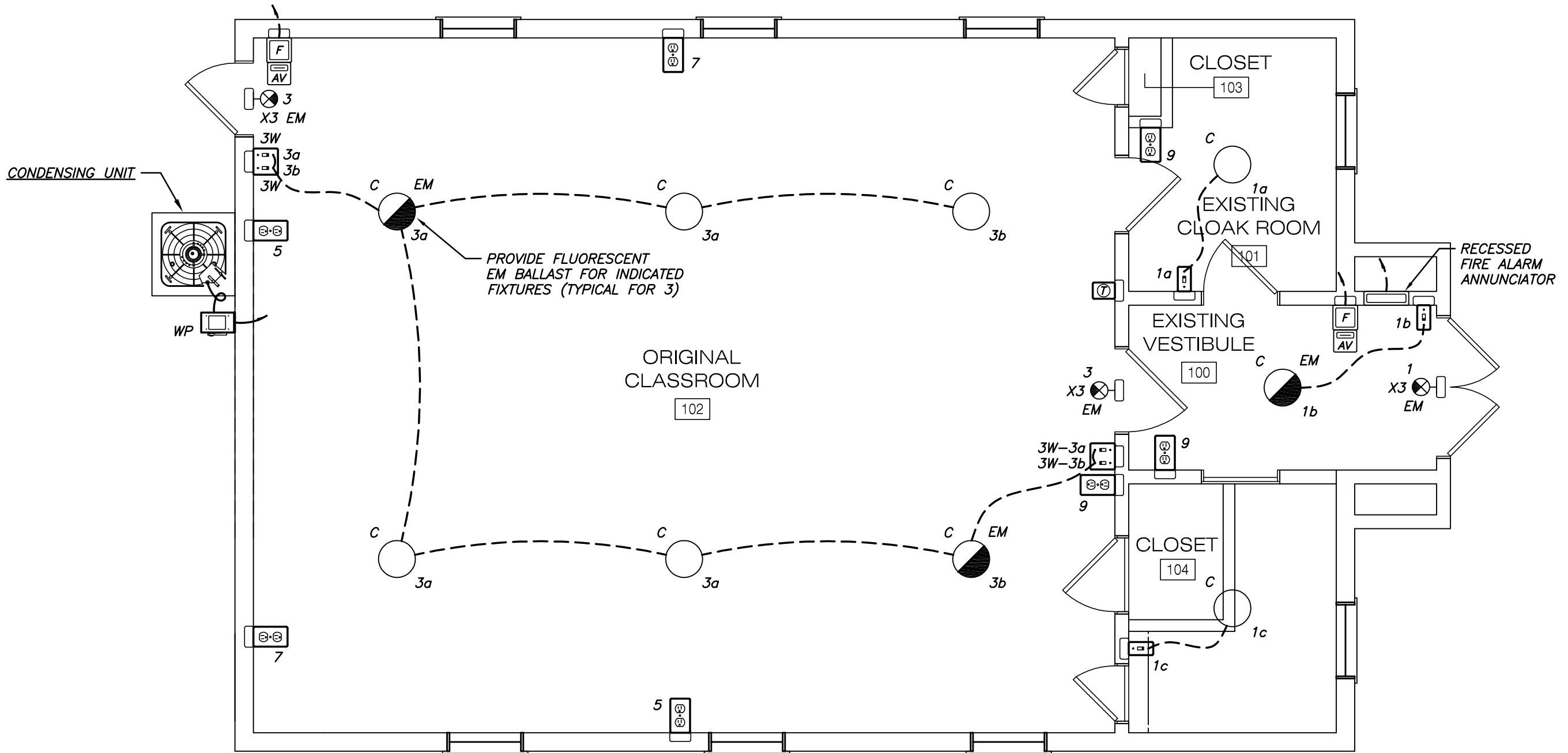
DATE: 7/1/2013

SHEET NO.

E-1

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

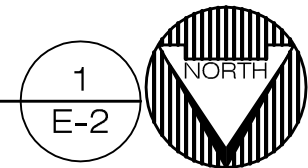


PROPOSED FIRST FLOOR PLAN

NOTES:

1. REFER TO SHEET E-0 SYMBOLS, NOTES, AND SPECIFICATIONS.
2. BALANCE ALL NEW LOADS EVENLY BETWEEN EXISTING PANELBOARDS 'LP-1' & 'LP-2', V.I.F.
3. ALL CIRCUITING IS FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL COORDINATE ALL FINAL CIRCUITRY WITH EXISTING PANELBOARDS IN FIELD AS REQUIRED, V.I.F.

SCALE 1/4" = 1'-0"



DRAWN: BMD

APPROVED: DBD

PROFESSIONAL DESIGN FIRM
IL # 184-000350

DATE: 7/1/2013

SHEET NO.

E-2

JOB NO. #13-1641.01

© 2013 FGM ARCHITECTS INC.

PANELBOARD: LP-1 (EXISTING)

PANEL LOC. BASEMENT PANEL TYPE NEMA 1, BOLT-ON, CB BUS SIZE 100 AMPS
 MAIN MAIN CB MOUNTING: SURFACE VOLTAGE: 240 / 120 V. 1 # 3 W.

CCT	C/B	DESCRIPTION	A # VA	B # VA	DESCRIPTION	C/B	CCT
1	20/1	VESTIBULE & CLOSET LIGHTING	504	500	FIRE ALARM CONTROL PANEL	20/1	2
3	20/1	CLASSROOM LIGHTING		1008	F.A. WIRELESS MONITORING UNIT	20/1	4
5	20/1	CLASSROOM RECEPTACLES	360	360	BASEMENT RECEPTACLES	20/1	6
7	20/1	CLASSROOM RECEPTACLES		540	BASEMENT GFI RECEPTACLES	20/1	8
9	20/1	VESTIBULE & CLOSET RECEPTACLES	360	548	BASEMENT LIGHTING	20/1	10
11	20/1	EXISTING TO REMAIN V.I.F.		500	EXISTING TO REMAIN V.I.F.	20/1	12
13	20/1	EXISTING TO REMAIN V.I.F.	500	500	EXISTING TO REMAIN V.I.F.	20/1	14
15	20/1	EXISTING TO REMAIN V.I.F.		500	EXISTING TO REMAIN V.I.F.	20/1	16
17	20/1	EXISTING TO REMAIN V.I.F.	500	500	EXISTING TO REMAIN V.I.F.	20/1	18
19	20/1	SPARE		0	EXISTING TO REMAIN V.I.F.	20/1	20
21	20/1	SPARE	0	4900		20/1	22
23	20/1	SPARE		0	FAN COIL UNIT	20/1	24
25	20/1	SPARE	0	0	SPARE	20/1	26
27	20/1	GENERATOR CONNECTION RECEPTACLE BELOW PANEL 2#6, 1#8G, 3/4" C	0	0	SPARE	20/1	28
29	20/1	SPARE	0	0	SPARE	20/1	30
TOTAL VA/PHASE			9,532	10,168	TOTAL VA	19,700	
					TOTAL AMPS	82.1	

10,000 AIC RATED

PANELBOARD: LP-2 (EXISTING)

PANEL LOC. BASEMENT PANEL TYPE NEMA 1, BOLT-ON, CB BUS SIZE 100 AMPS
 MAIN MAIN CB MOUNTING: SURFACE VOLTAGE: 240 / 120 V. 1 # 3 W.

CCT	C/B	DESCRIPTION	A # VA	B # VA	DESCRIPTION	C/B	CCT
1	30/1	CONDENSING UNIT	2160	1200	NEW SEWAGE EJECTOR PUMP	20/1	2
3	20/2			2160	EXISTING SUMP PUMP	20/1	4
5	20/1	EXISTING TO REMAIN V.I.F.	500	2500	EXISTING ELECTRIC UNIT HEATER	30/2	6
7	20/1	EXISTING TO REMAIN V.I.F.		500	EXISTING ELECTRIC UNIT HEATER	30/2	8
9	20/1	EXISTING TO REMAIN V.I.F.	500	2500	EXISTING ELECTRIC UNIT HEATER	30/2	10
11	20/1	EXISTING TO REMAIN V.I.F.		500	EXISTING TO REMAIN V.I.F.	20/1	12
13	20/1	EXISTING TO REMAIN V.I.F.	500	500	EXISTING TO REMAIN V.I.F.	20/1	14
15	20/1	SPARE		0	EXISTING TO REMAIN V.I.F.	20/1	16
17	20/1	SPARE	0	500	EXISTING TO REMAIN V.I.F.	20/1	18
19	20/1	SPARE		0	SPARE	20/1	20
21	20/1	SPARE	0	0	SPARE	20/1	22
23	20/1	SPARE		0	SPARE	20/1	24
25	20/1	SPARE	0	0	SPARE	20/1	26
27	20/1	SPARE		0	GENERATOR CONNECTION RECEPTACLE BELOW PANEL 2#6, 1#8G, 3/4" C	60/2	28
29	20/1	SPARE	0	0	SPARE	20/1	30
TOTAL VA/PHASE			10,860	9,660	TOTAL VA	20,520	
					TOTAL AMPS	85.5	

10,000 AIC RATED

MECHANICAL AND PLUMBING EQUIPMENT CONNECTION SCHEDULE

EQUIPMENT TAG	#	VOLT	HP	AMPS	PANELBOARD	OVER CURRENT PROTECTION	FEEDER	LOCAL DISCONNECT	LOCATION	QTY
FC-1	1	240	1/3	40.0	LP-1	60A/240V/2P CB	2#6, 1#8G, 3/4" C	60A/240V/1#	BASEMENT	1
CU-1	1	240	NA	18.0	LP-2	30A/240V/2P CB	2#12, 1#12G, 3/4" C	30A/240V/1#	OUTSIDE	1
SE	1	120	NA	7.2	LP-1	20A/120V/1P CB	2#12, 1#12G, 3/4" C	PLUG	BASEMENT	1

NOTES:

- ELECTRICAL AND MECHANICAL SIZES FOR GENERAL REFERENCE ONLY, COORDINATE EXACT REQUIREMENTS WITH RESPECTIVE CONTRACTORS PRIOR TO INSTALLATION, VERIFY ALL LOCATIONS WITH RESPECTIVE CONTRACTORS, AND PROVIDE POWER CONNECTIONS ACCORDINGLY.
- CONTRACTOR SHALL PROVIDE AN AMPERAGE AND VOLTAGE COORDINATION SHEET TO BE VERIFIED AND SIGNED BY ALL TRADES AND PARTIES SUPPLYING EQUIPMENT PRIOR TO INSTALLATION OF ANY EQUIPMENT FEEDS. SHEET SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW WHEN COMPLETE. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

LIGHTING FIXTURE SCHEDULE CONT.

TYPE	DESCRIPTION	LAMP		FIXTURE		MANUFACTURER AND CATALOG NUMBER	MOUNTING
		QUANTITY	TYPE	VA	VOLTS		
A	CEILING SURFACE MOUNTED INDUSTRIAL FIXTURE WITH WITH NEMA PREMIUM INSTANT-START ELECTRONIC BALLAST	2	32W T8	64	120	LITHONIA #L232MV-SERIES	CEILING SURFACE
C	18" DIAMETER PENDANT FIXTURE WITH 34" OVERALL HEIGHT, OPAL WHITE GLASS DIFFUSER, OIL RUBBED BRONZE FINISH, AND FUSING	4	42W TRT	168	120	OCL #SC1-P1AA-18-ORB-4TT42-120-34-FUS-SERIES	CEILING PENDANT
X	EMERGENCY EXIT SIGN WITH LED LAMPS, MATTE BLACK DIE-CAST ALUMINUM HOUSING, BRUSHED ALUMINUM FACE, STENCIL FACE TYPE, RED LETTERING, AND NICKEL-CADMIUM BATTERY	LED	LED	1.3	120	LITHONIA #LE-S-1-R-120/277-EL N-SERIES	WALL SURFACE
Z	EMERGENCY LIGHTING UNIT WITH WHITE THERMOPLASTIC HOUSING, (2) 9W/6V MR-24 KRYPTON	2	9W/6V MR-24 KRYPTON	18	120	LITHONIA #ELM618-SERIES	WALL SURFACE
REMOTE HEAD	EMERGENCY LIGHTING UNIT REMOTE FIXTURE WITH THERMOPLASTIC HOUSING, SINGLE ADJUSTABLE 6W/6V MR-24 COMPOSITE KRYPTON LAMP HEAD	1	6W/6V MR-24 KRYPTON	6	120	LITHONIA #ELA MR24-K0806-SERIES	EXTERIOR WALL SURFACE

NOTES:

- COORDINATE ALL FIXTURE TYPES, QUANTITIES, AND LOCATIONS WITH ARCHITECT PRIOR TO PURCHASING.
- ALL LIGHTING FIXTURES SHALL BE FURNISHED WITH INLINE FUSE, EXCEPT EXIT SIGNS AND EM LIGHTING.
- COORDINATE ALL FIXTURE COLORS, STYLES, AND MOUNTING WITH ARCHITECT PRIOR TO PURCHASING.
- PROVIDE 277-120V AUTO-XFRMRS FOR ALL FIXTURE WHICH REQUIRE 120V OPERATION, COORDINATE WITH MANUFACTURER AND PROVIDE ACCORDINGLY.
- ALL FLUORESCENT AND H.I.D. LAMPS SHALL BE PHILLIPS ALTO/ALTO II SERIES ULTRA LOW MERCURY CONTENT TYPE, OR APPROVED EQUAL.